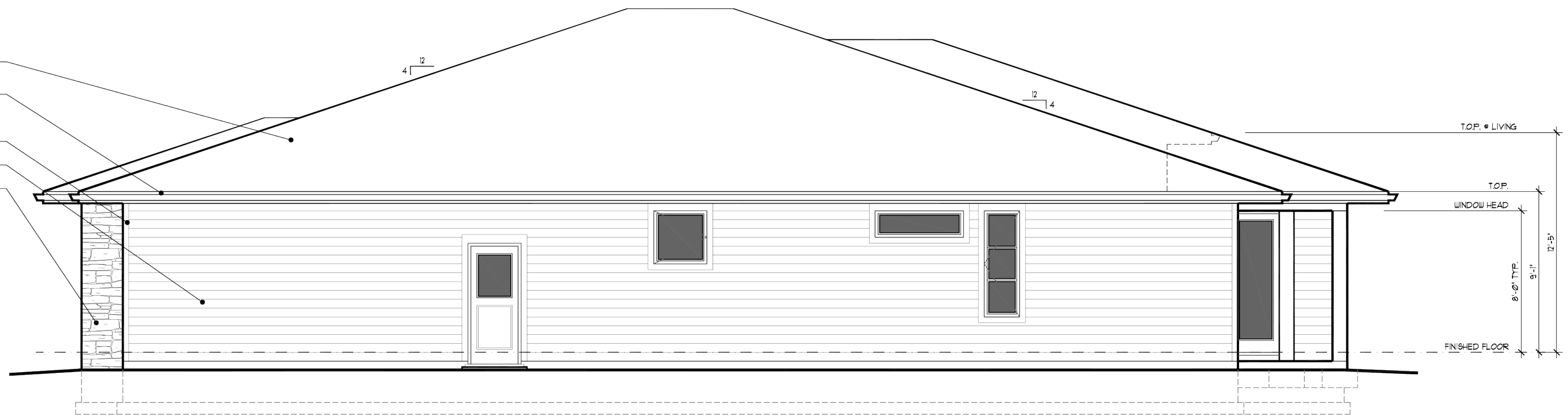


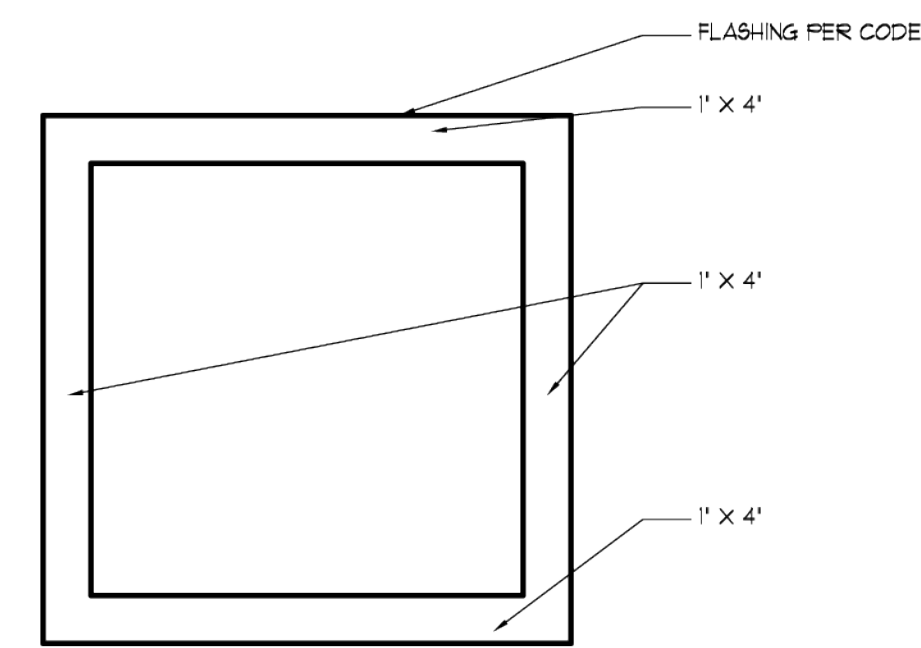
- ROOFING MATERIAL (SEE ROOF PLAN)
- G. I. GUTTER ON 2 X 8 FASCIA C/W DOWNSPOUTS (SEE ROOF PLAN)
- 5/4 X CEDAR CORNER BDS.
- FIBER CEMENT LAP SIDING
- STONE VENEER

THE TYPE OF EXTERIOR FINISH, THE INSTALLATION AND THE WATERPROOFING DETAILS ARE ALL TO BE THE FULL RESPONSIBILITY OF THE OWNER/BUILDER. THIS DESIGNER ASSUMES NO RESPONSIBILITY FOR THE INTEGRITY OF THE BLDG ENVELOPE.



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"



TYPICAL EXTERIOR WINDOW TRIM

SCALE: 3/4" = 1'-0"



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

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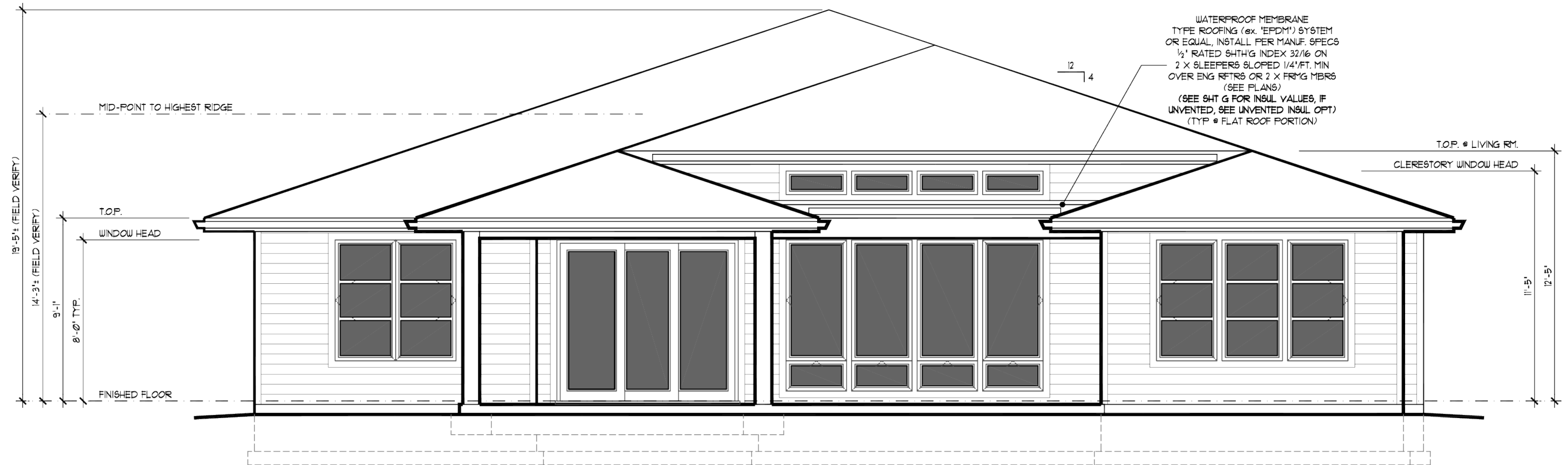
1168ES-1-KELLER
 PROJECT MANAGER/SR
 DRAWN: 01/28/24 LAW

RESIDENCE BY
QUAIL HOMES - "KELLER"
 LOT 9 - LARREVIEW
 VAINCOUVER, WA

25# SNOW LOAD

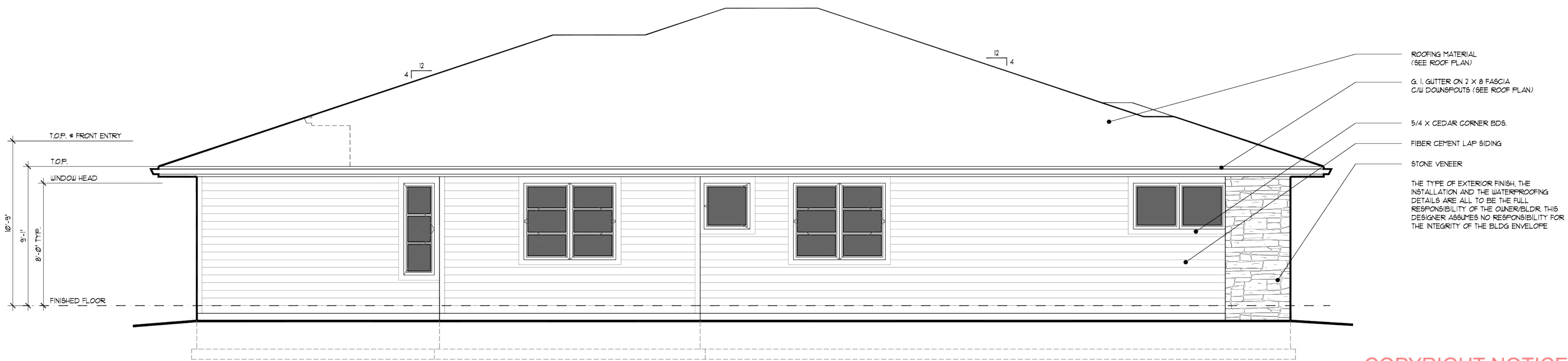
MAIN FLOOR 2899 SQ. FT.
 GARAGE AREA 863 SQ. FT.

1168ES
1



REAR ELEVATION

SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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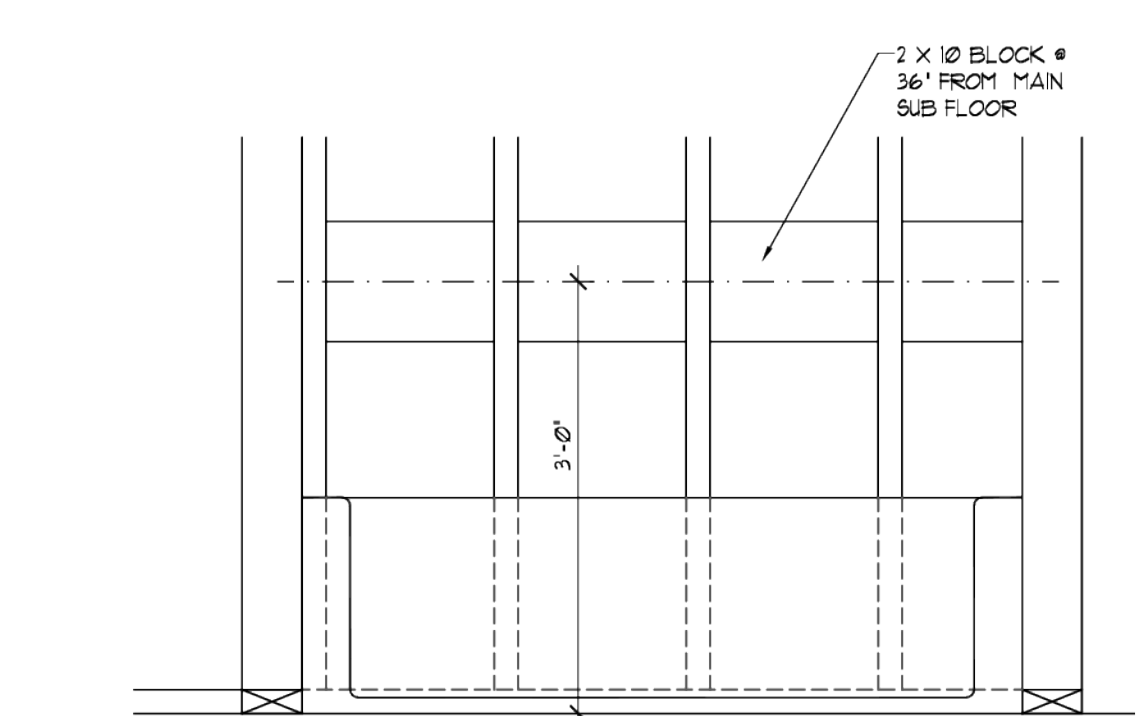
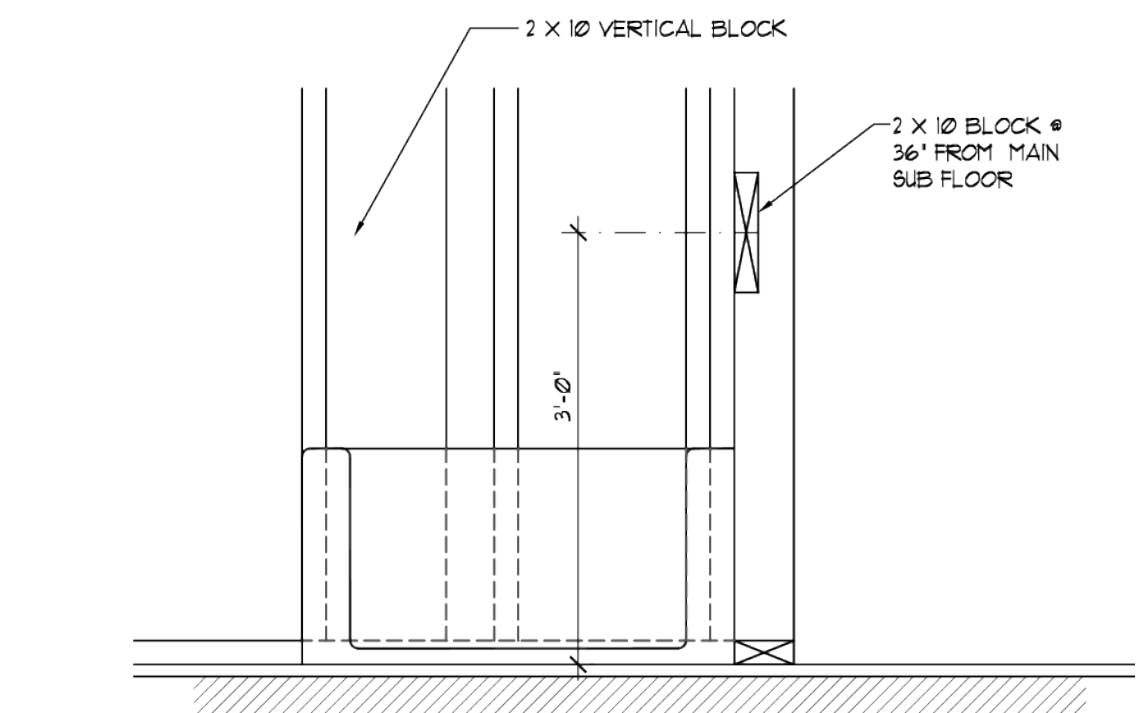
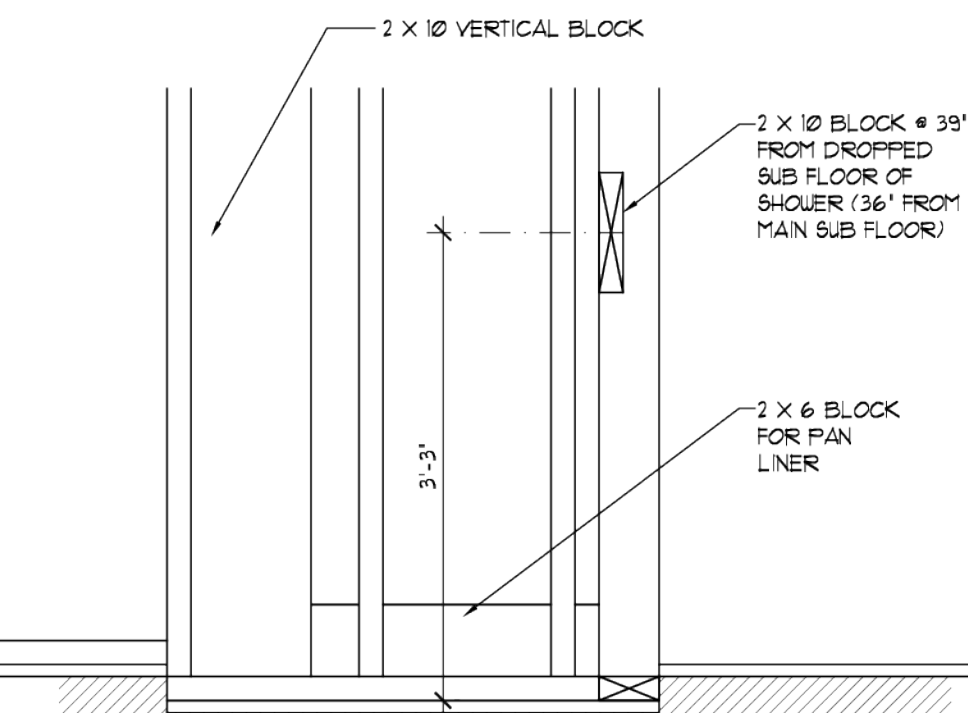
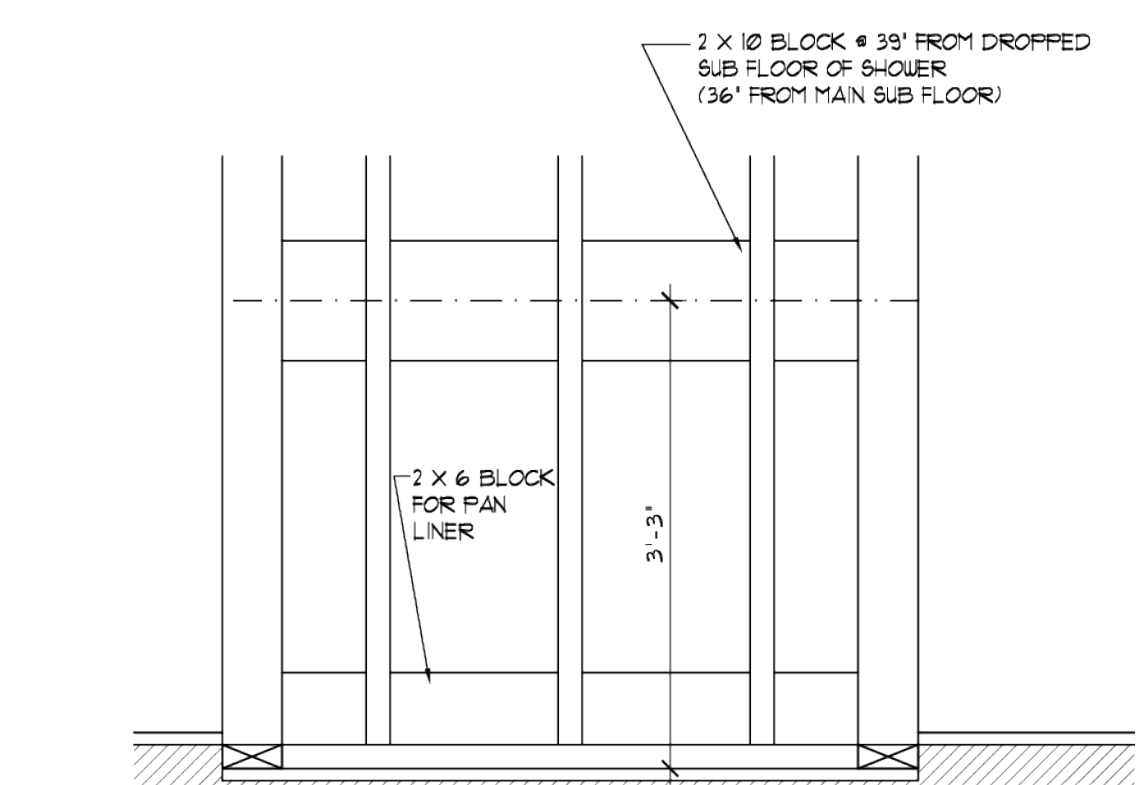
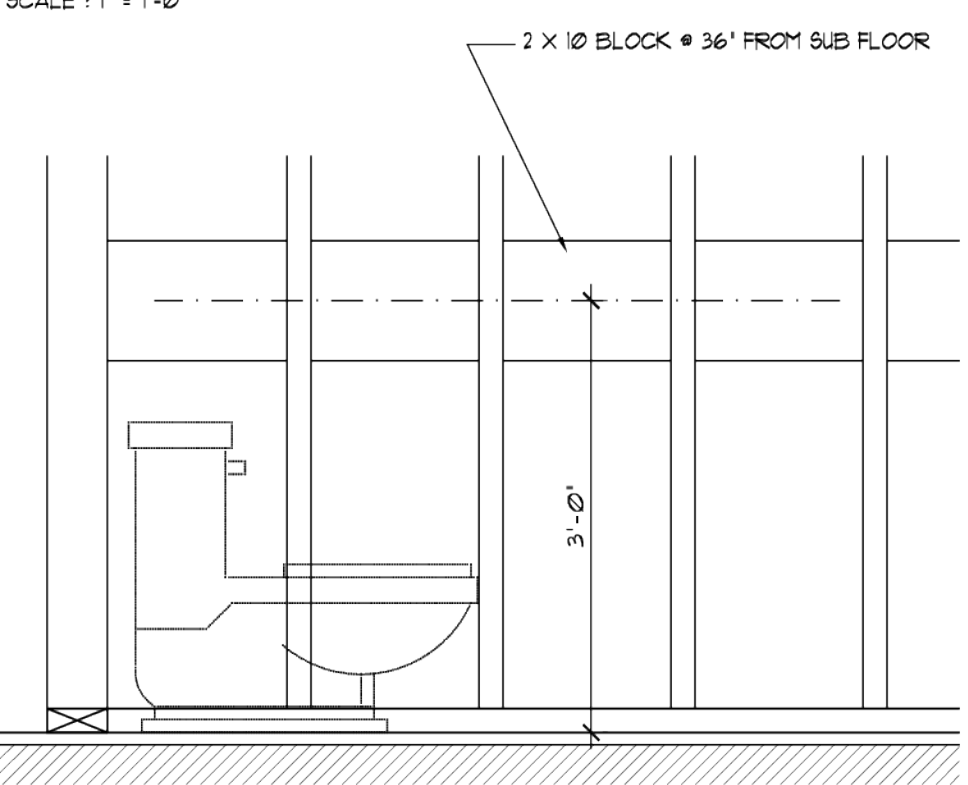
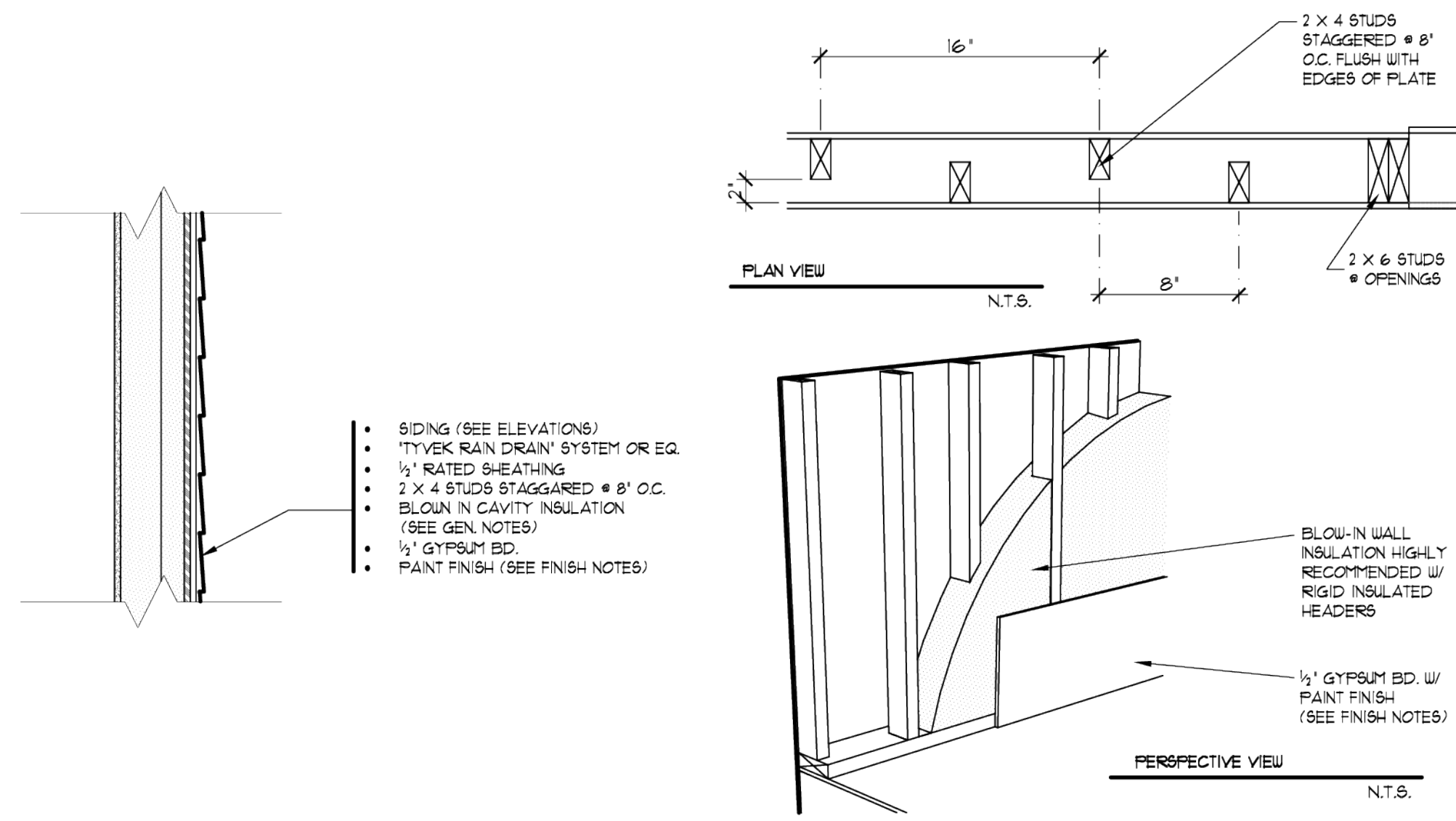
ALAN MASCORD DESIGN ASSOCIATES, INC. 2899 SQ. FT. MAIN FLOOR 863 SQ. FT. GARAGE AREA
1168ES-2-KELLER PROJECT MANAGER/SR DRAWN: 01/28/24 LAW
787 NW BEED ST. SUITE 300 PORTLAND, OR 97210 503.225.2366 FAX: 503.985.9895

1168ES-2-KELLER PROJECT MANAGER/SR DRAWN: 01/28/24 LAW

RESIDENCE BY
QUAIL HOMES - "KELLER"
LOT 9 - LAKEVIEW
VANTCOUVER, WA
25# SNOW LOAD

MAIN FLOOR 2899 SQ. FT.
GARAGE AREA 863 SQ. FT.

1168ES
2



LEGEND

- RECESSED EXHAUST FAN VENTED TO THE EXTERIOR
- SURFACE-MOUNT LIGHT
- SMOKE / CO DETECTOR (SEE 'GENERAL NOTES' FOR OTHER SPECS)
- BEARING POINT LOCATION (PROVIDE SOLID BEARING - MIN. OF MEMBER WIDTH UNDO.)
- POINT LOAD FROM ABOVE
- BEARING WALL SUPPORTING STRUCTURE ABOVE
- 4 X 4 HDR @ BEARING WALL INT. DOOR 4 OPENINGS W/ MIN (2) 2 X SUPPORT EA END UNDO.)
- DROPPED STRUCT. MEMBER BEARING @ WALL

ENERGY ENVELOPE KEY

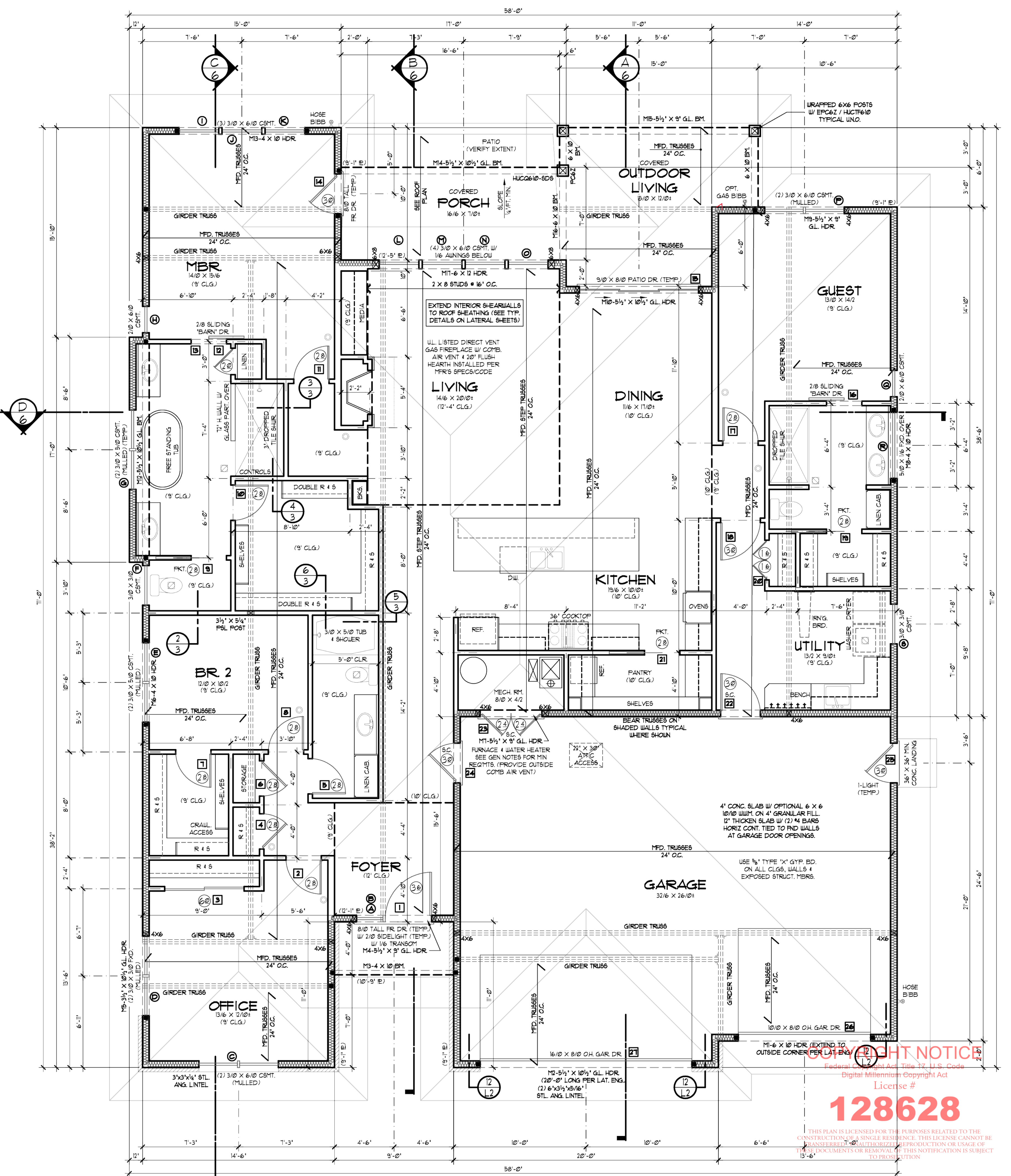
- WALL, FLR, CLG, NSUL
- FOUNDATION NSUL

(SEE SHEET 'G' FOR INSULATION VALUES)

C.O. DET LOCATION

CARBON MONOXIDE ALARMS SHALL BE LOCATED IN EA. BEDROOM OR WITHIN 5 FEET OUTSIDE OF EA. BEDROOM DOOR AT EVERY FLOOR LEVEL W/ BEDROOMS (SEE SHEET 'G' FOR ADD'L. INFO)

BSMT/NOID 07/18/18



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RESIDENCE BY **QUAIL HOMES - "KELLER"**

1168ES-3-KELLER PROJECT MANAGER/DR

25# SNOW LOAD

MAIN FLOOR 2899 SQ. FT. GARAGE AREA - 863 SQ. FT.

LOT 9 - LARVIEW VAITCOUVE, WA

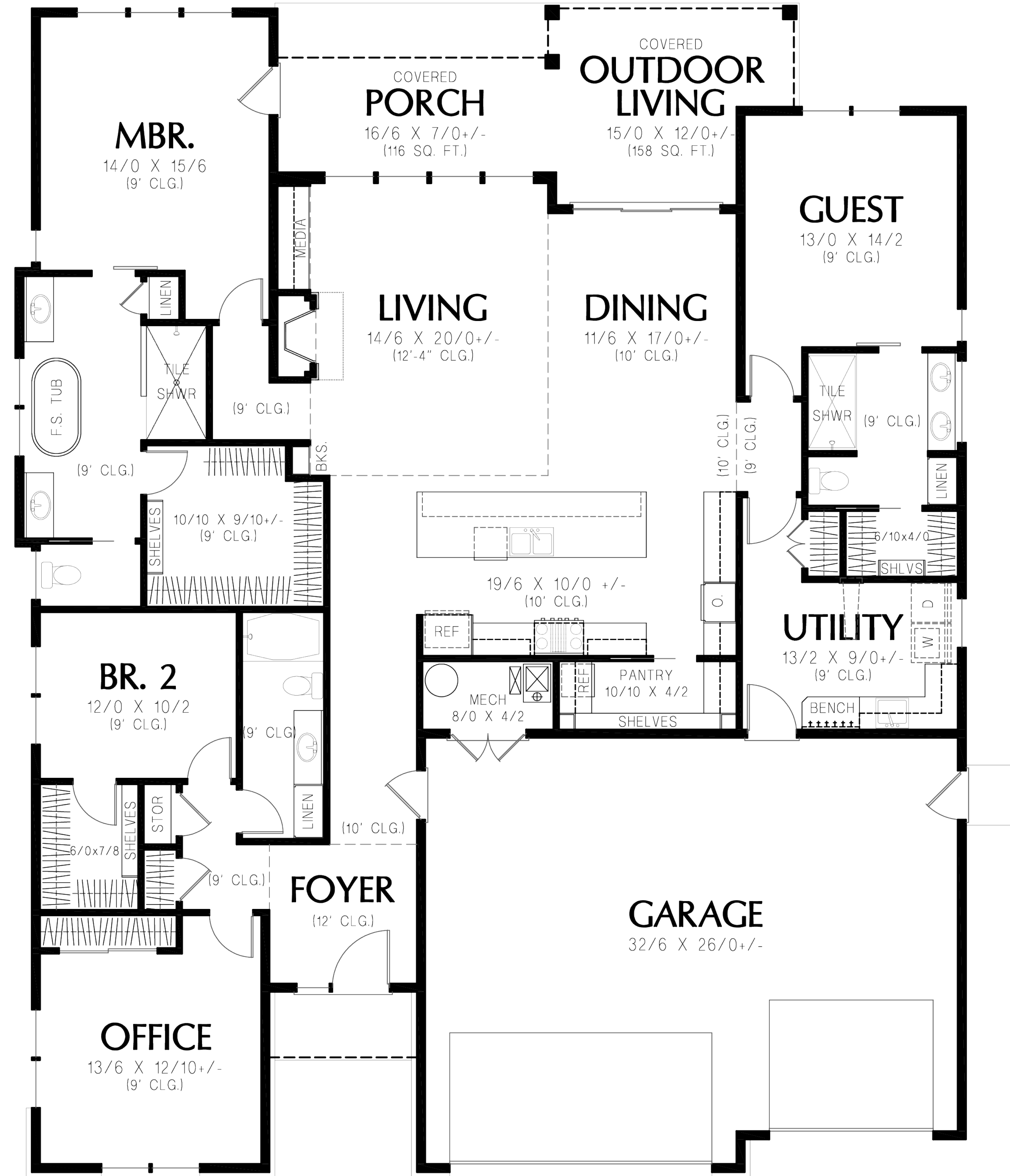
1168ES

3

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1168ES-3-KELLER PROJECT MANAGER/DR DRAWN: 07/18/24 LAW

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71'

58'

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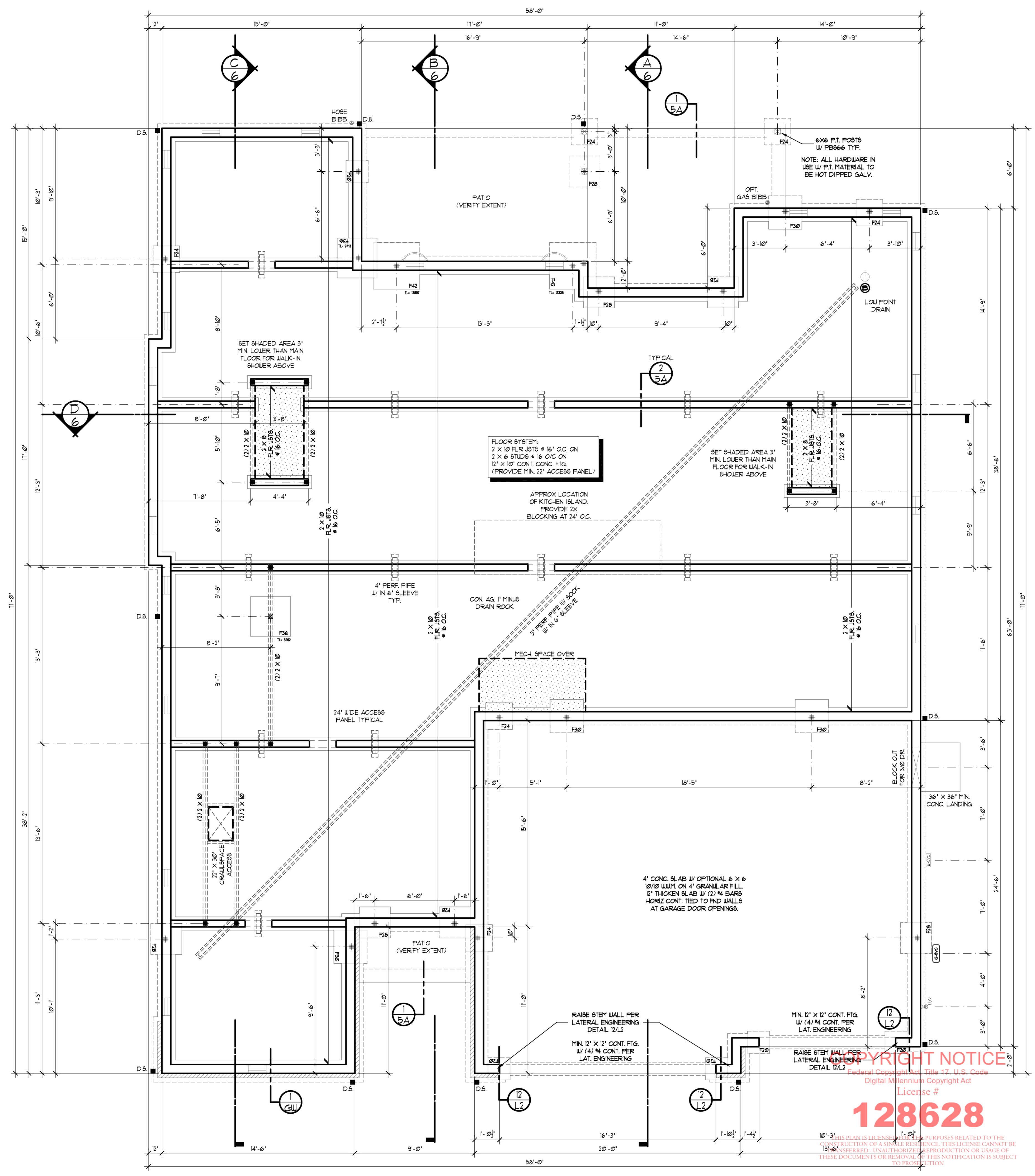
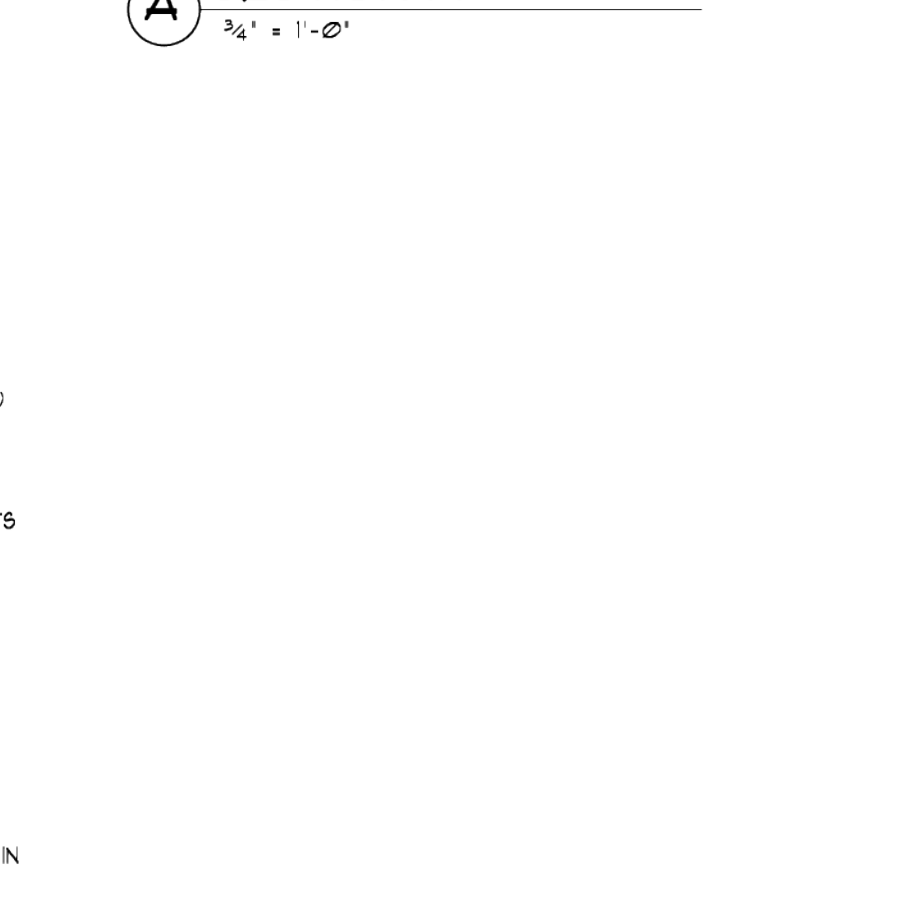
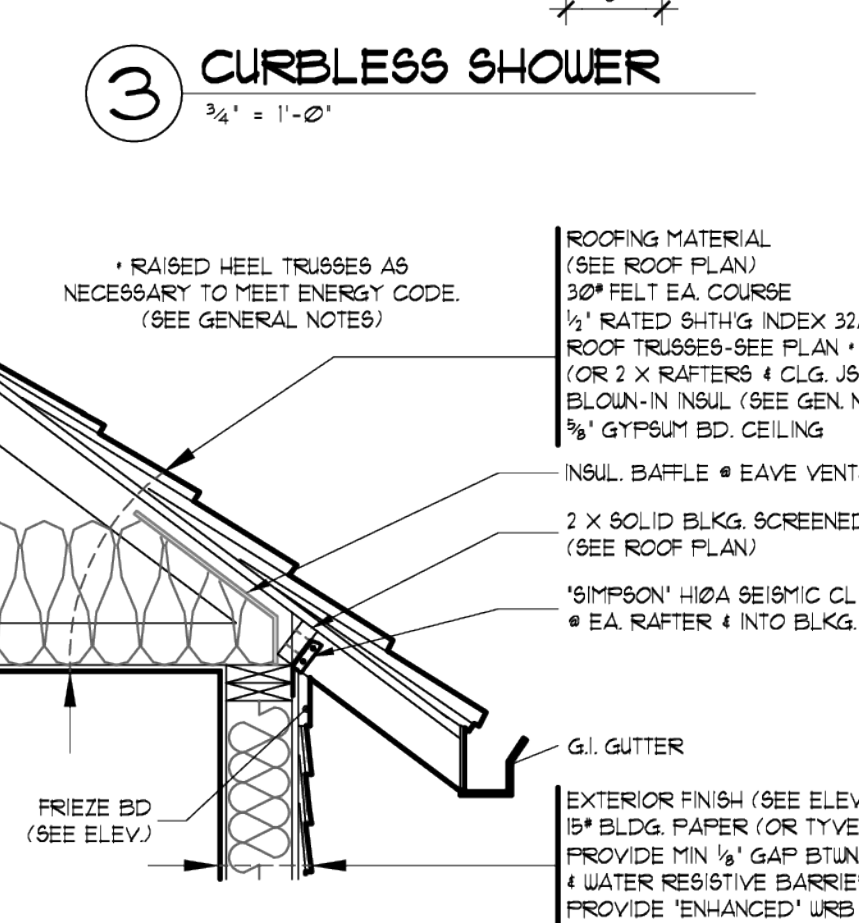
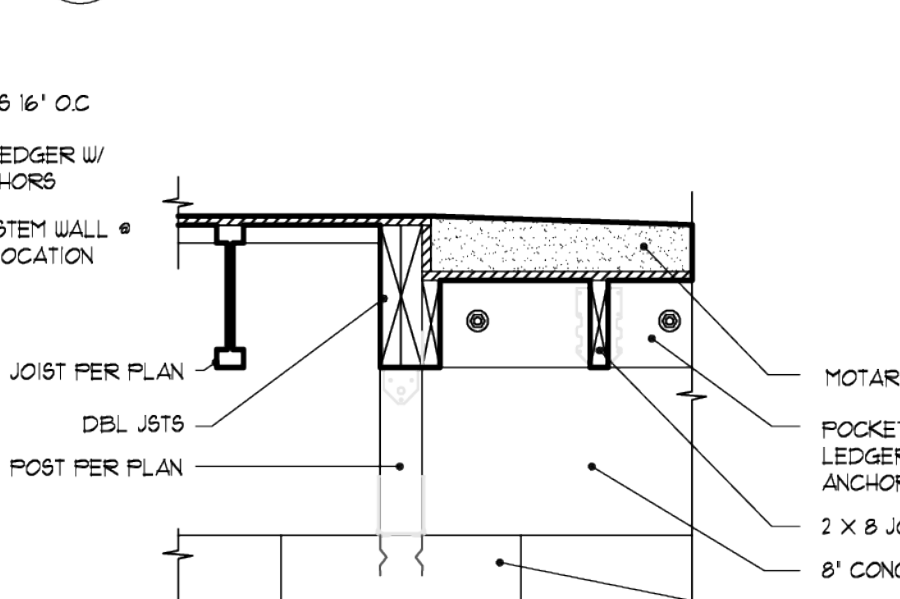
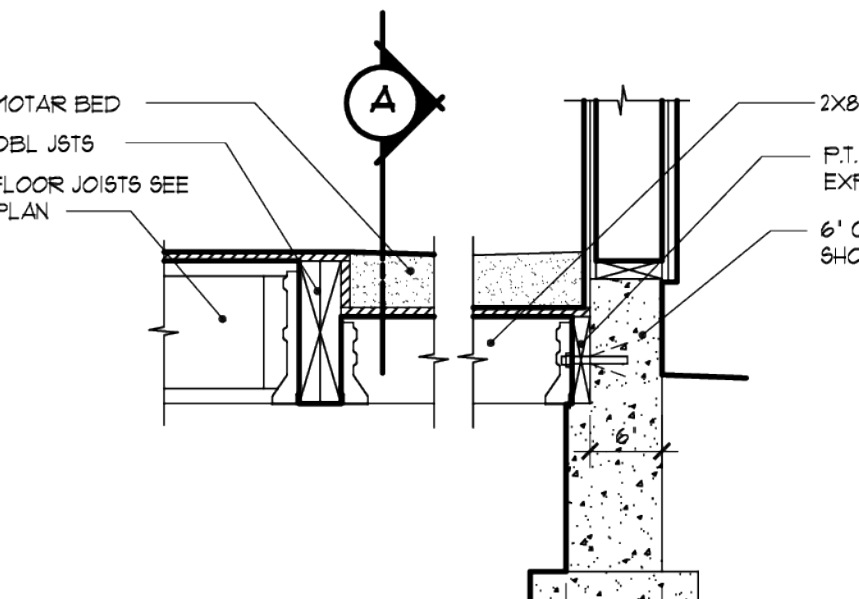
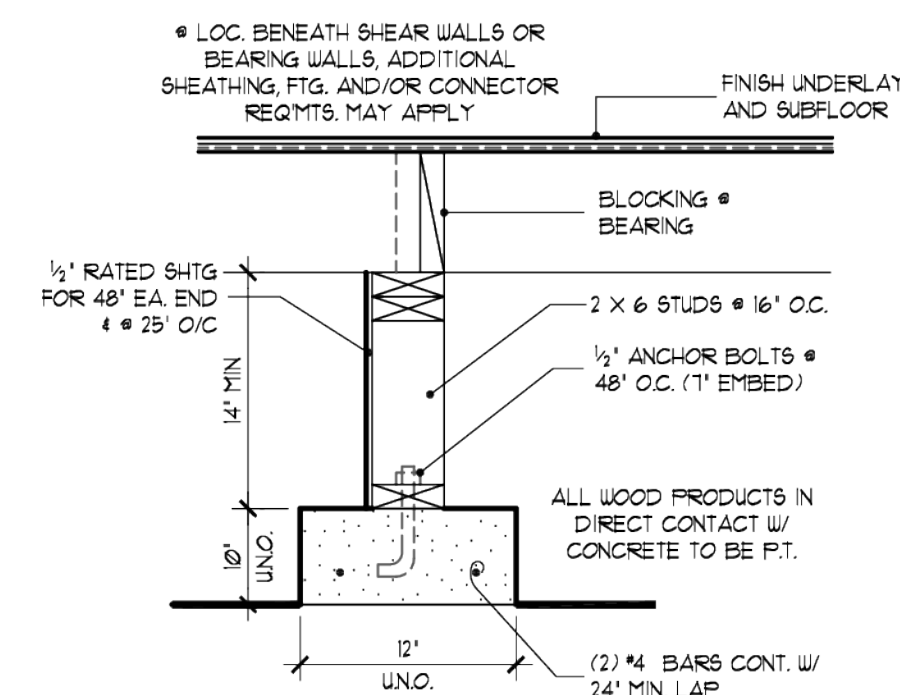
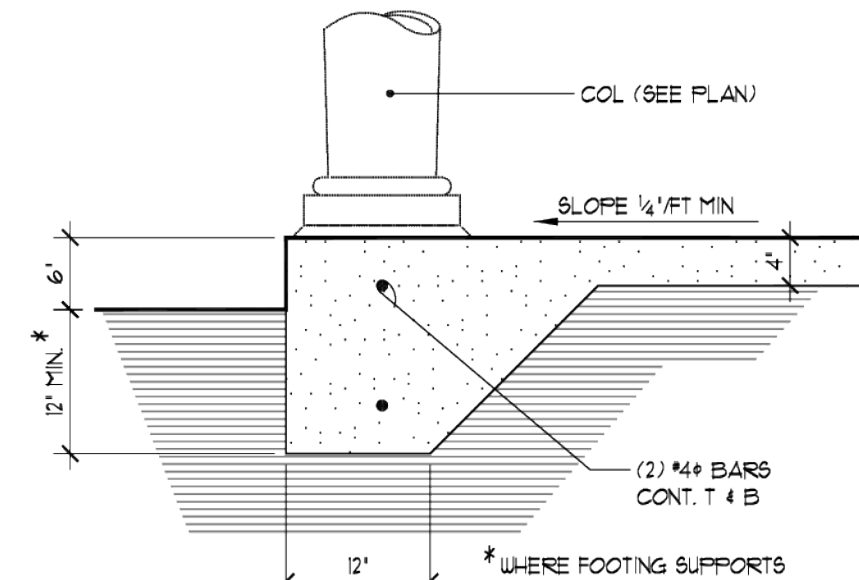
RESIDENCE BY QUAIL HOMES - "KELLER" LOT 9 - LARREVUE VANCOUVER, WA

25# SNOW LOAD

MAIN FLOOR 2899 SQ. FT. GARAGE AREA - 863 SQ. FT.

1168ES
4

FOUNDATION VENTILATION CALCULATIONS (SEE GENERAL NOTES FOR ADDITIONAL INFORMATION)						
DESCRIPTION	UNDER-FLOOR AREA (FT ²)	NET AREA (IN ² PER VENT)	QTY. OF VENTS REQ'D (WITHOUT CLASS-1 VAPOR BARRIER)	QTY. OF VENTS REQ'D (WITH CLASS-1 VAPOR BARRIER)	MECHANICAL VENTILATION RATE (CFM)	DEHUMIDIFICATION RATE (PINTS PER DAY)
AMOUNT/QTY	2523	45	54	6	505	176.6
CODE REF.			R4081.4 R4082	R4081.4 R4082	R4083.4 N1021	R4083.2.4
NOTES			1/500 OF UNDER-FLOOR AREA (NO VAPOR BARRIER REQUIRED)	1/500 OF UNDER-FLOOR AREA (VAPOR BARRIER FERTY RATING < 2)	MECHANICAL VENT CAPABLE OF 10 CFM PER 50 FT ² OF UNDER-FLOOR AREA	



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FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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1168ES-6A-KELLER PROJECT MANAGER/DR. DRAWN: 01/18/24. LAW

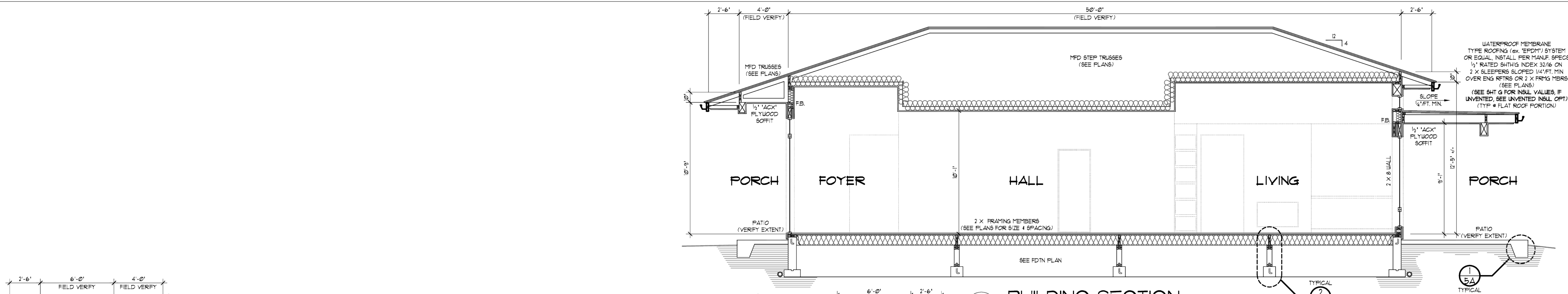
RESIDENCE BY
QUAIL HOMES - "KELLER"
LOT 9 - LARVIEW VALICOUVER, WA.

25# SNOW LOAD

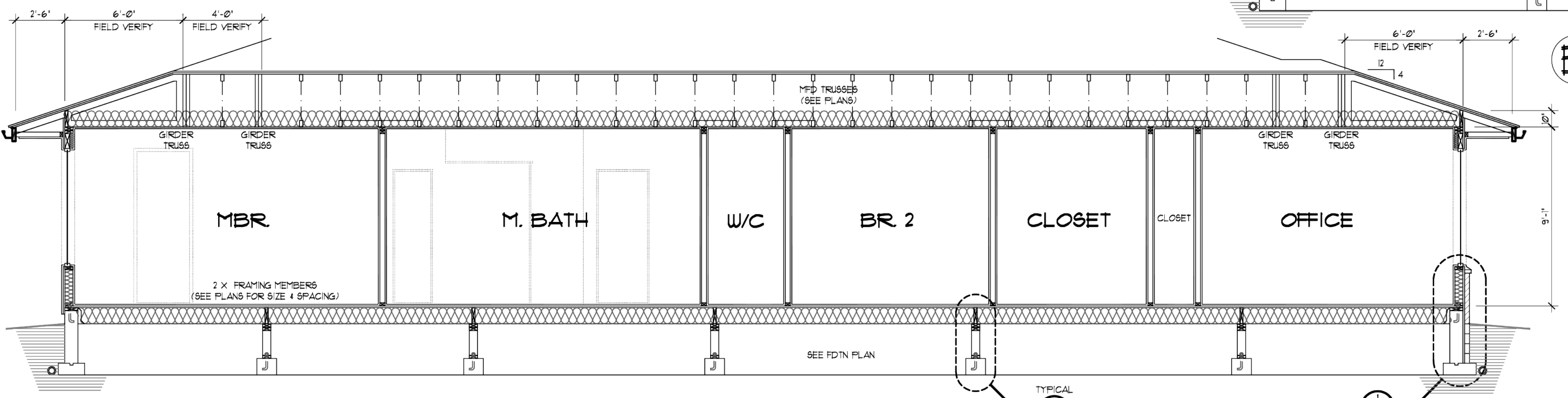
MAIN FLOOR 2899 SQ. FT. GARAGE AREA - 853 SQ. FT.

1168ES
5

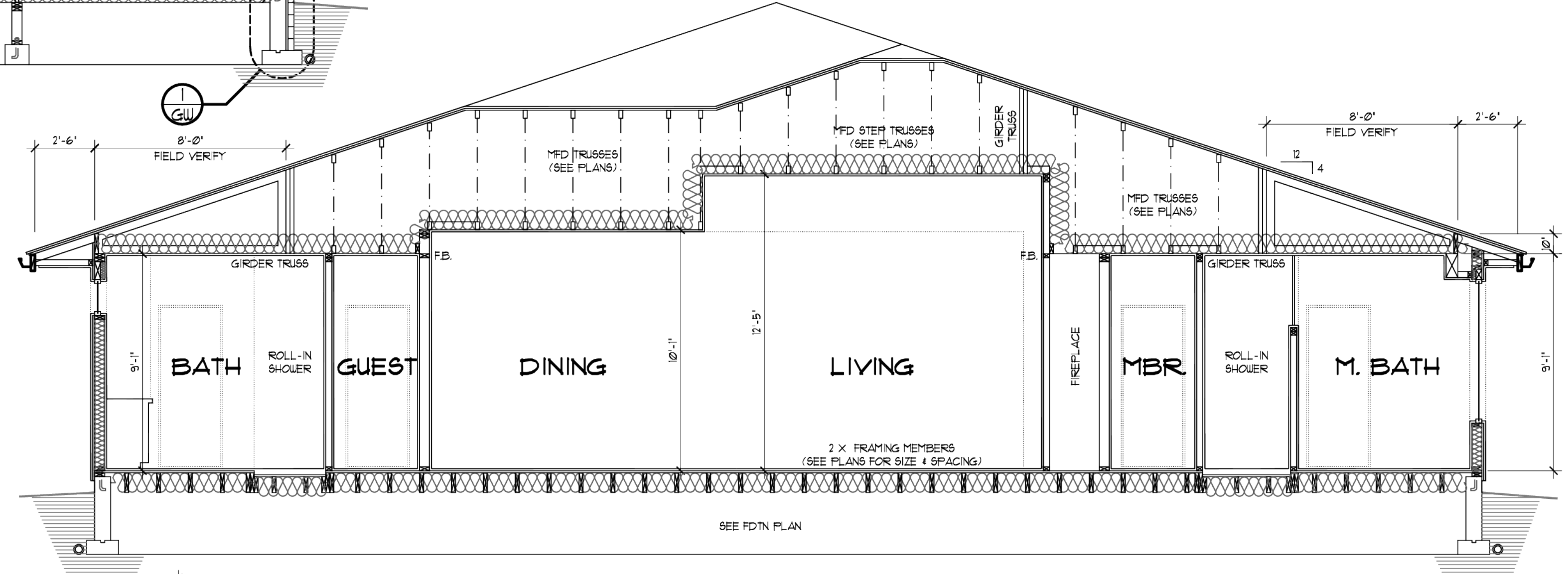
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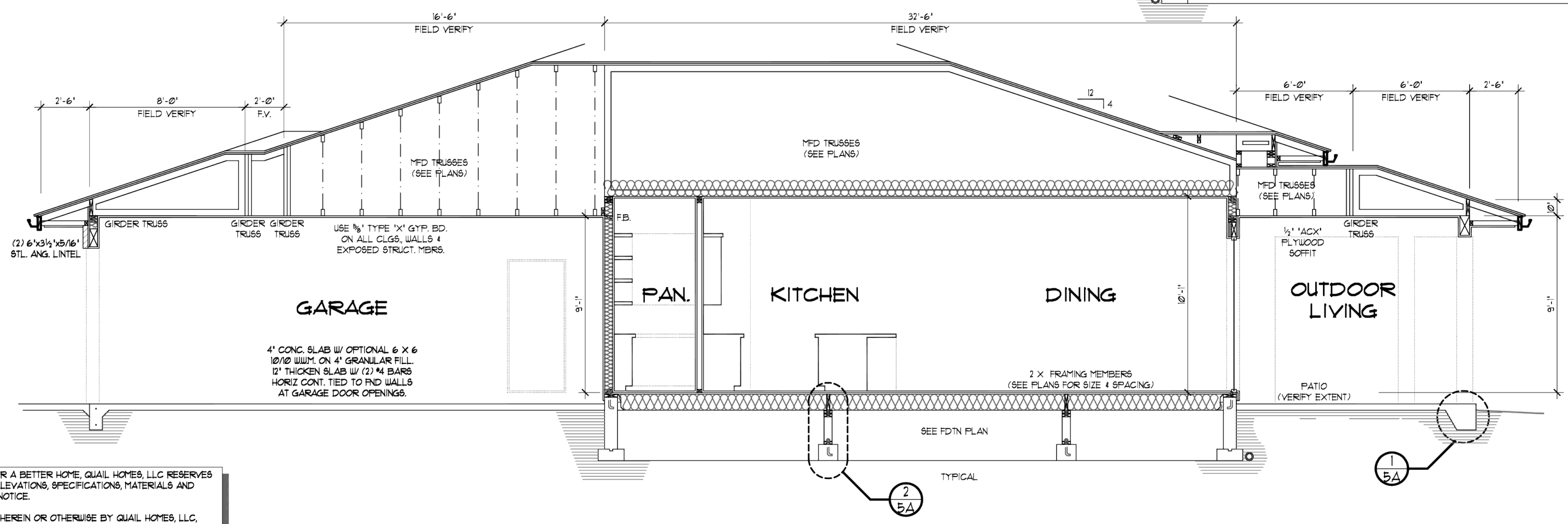
B BUILDING SECTION
SCALE: 1/4" = 1'-0"



C BUILDING SECTION
SCALE: 1/4" = 1'-0"



D BUILDING SECTION
SCALE: 1/4" = 1'-0"



A BUILDING SECTION
SCALE: 1/4" = 1'-0"

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ENERGY ENVELOPE KEY

- ROOF INSUL.
- WALL/FLR/CLG. INSUL.
- FOUNDATION INSUL.

(SEE SHEET 'G' FOR INSULATION VALUES)

Mascord COLLECTION

1168ES-6-KELLER PROJECT MANAGER DRAWN: 01/18/24 LAW

RESIDENCE BY: **QUAIL HOMES - "KELLER"**
LOT 9 - LARVIEW VALLEY, WA.

25# SNOW LOAD

MAIN FLOOR: 2899 SQ. FT. GARAGE AREA: 863 SQ. FT.

1168ES
6

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ROOF DESIGN NOTES

THIS ROOF HAS BEEN DESIGNED TO SUPPORT CEDAR SHAKE ROOFING MATERIALS AND COMPOSITION ROOFING OF VARIOUS TYPES. THE TABLE BELOW DESCRIBES IN DETAIL THE ASSUMPTIONS MADE IN THE DESIGN OF THE ROOF STRUCTURE OF THIS BUILDING.

ROOF LIVE LOAD (SNOW)	75.0 PSF	3375 PSF	AVE.(WET)
FRAMING MATERIALS:	2.0 PSF		
SHEATHING MATERIALS:	15 PSF	3375 PSF	ACTUAL REQ'D SAFETY FACTOR
MISC. MATERIALS:	15 PSF	6.75 PSF	

ROOFING TYPE	DRY / WET	40.0	PSF TL
MED SHAKES	2.0 / 3.25 PSF		
HVY SHAKES	3.0 / 4.0 PSF		
SHINGLES	2.0 / 3.25 PSF		
COMPOSITION	1.5 / 3.0 PSF		

GYPSUM MATERIALS: ADD 2.0 PSF FOR VALLIED AREAS (COVERED IN SAFETY FACTOR)

NOTE: HIP, VALLEYS & RIDGES SHALL NOT BE LESS IN DEPTH THAN THE END CUT OF THE RAFTERS (FIELD VERIFY ALL CONDITIONS)

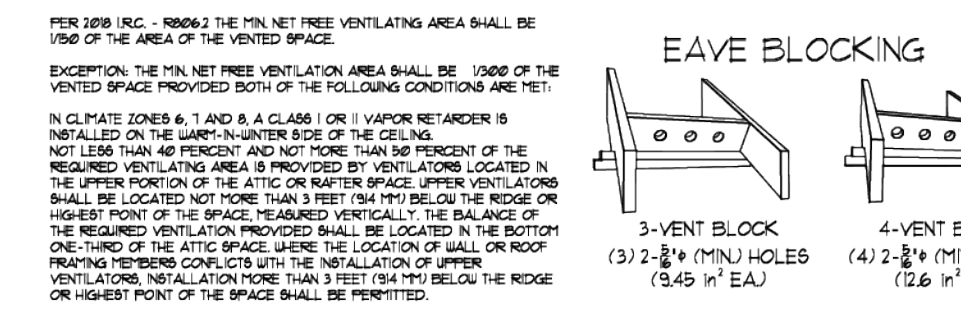
LEGEND

- 4 X 4 WOOD POST FROM RIDGE (HIP OR VALLEY) TO WALL BELOW (MIN. (2) 2 X 4 REQ'D AT WALL BEARING POINT) NOTE: SPLICES IN HIP'S & VALLEYS CAN ONLY OCCUR @ POST DOWN LOCATIONS
- 49 SQ. IN. ROOF VENTS (SEE VENT TABLE FOR QTY. - 50%/50% SHOWN)
- 2X4 PURLIN WALL TO BM. OR WALL BELOW (FRAM'G AT 24" O.C.)
- SHADED AREA DENOTES ROOF FRAMED OVER RAFTERS BELOW
- 9" DOWNSPOUTS

COMP/SHAKE ROOF

SIZE	SPACING	SPAN
2X6	12" O.C.	14'-0"
	16" O.C.	12'-1"
	24" O.C.	9'-10"
2X8	12" O.C.	17'-8"
	16" O.C.	15'-4"
	24" O.C.	12'-6"
2X10	12" O.C.	21'-1"
	16" O.C.	18'-9"
	24" O.C.	15'-3"
2X12	12" O.C.	25'-1"
	16" O.C.	21'-8"
	24" O.C.	17'-9"

ROOF VENTS					
ROOF AREA (ft ²) + 3862		EAVE-BLOCK'G		ROOF VENTS	
% EAVE	AREA (ft ²)	% ROOF	AREA (ft ²)	3-VENT	4-VENT
6.0	112.3	4.0	14.15	18	15
56.1	1051.1	43.3	802.1	12	84
53.3	988.1	46.1	865.1	105	79
5.0	926.9	5.0	926.9	98	74



PER 2009 IRC - R802.2 THE NET FREE VENTILATING AREA SHALL BE 1/60 OF THE AREA OF THE VENTED SPACE

EXCEPTION: THE NET FREE VENTILATING AREA SHALL BE 1/300 OF THE VENTED SPACE PROVIDED BOTH OF THE FOLLOWING CONDITIONS ARE MET:

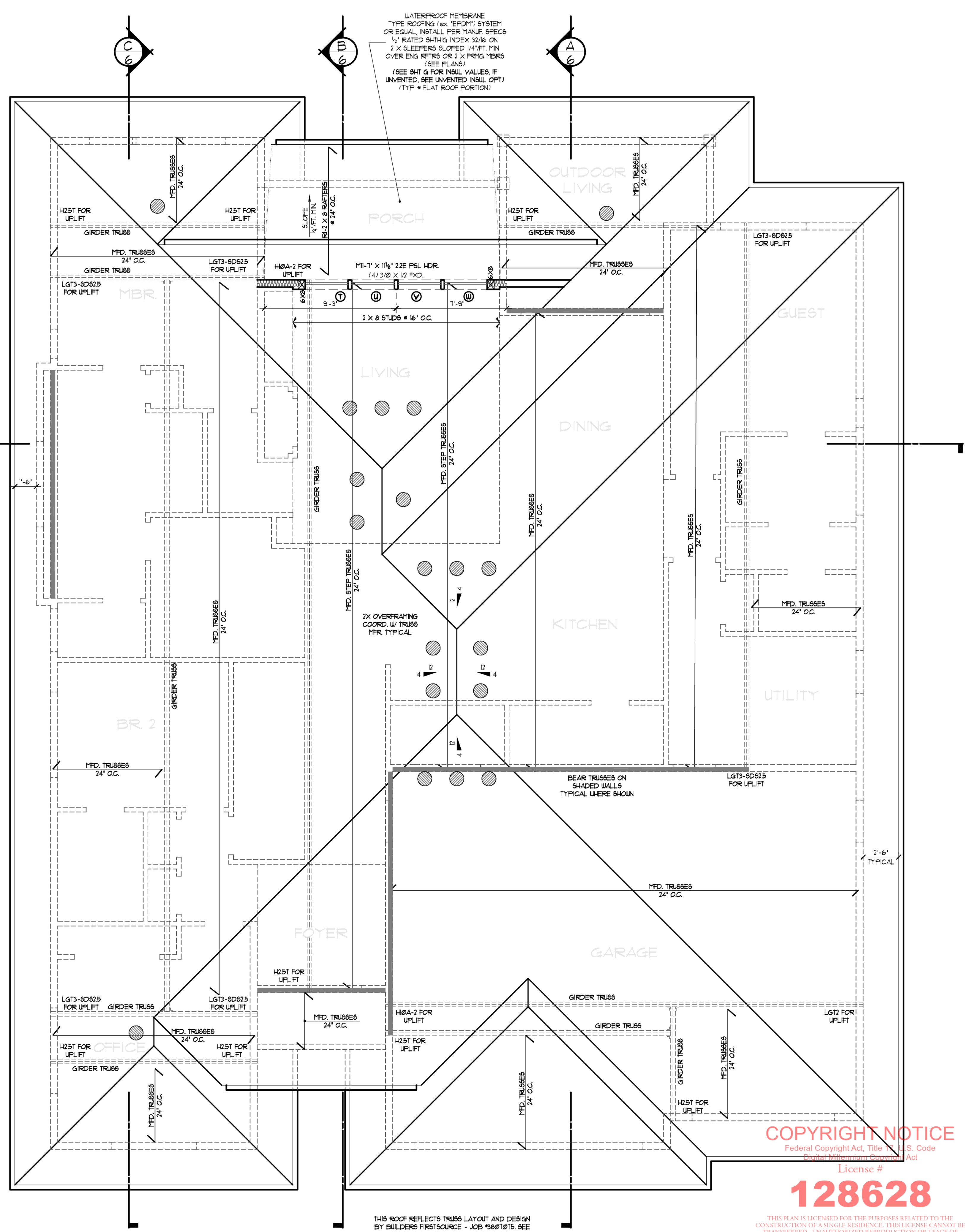
IN CLIMATE ZONES 3, 4 AND 5 A CLASS 1 OR 2 VAPOR RETARDER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING

NOT LESS THAN 40 PERCENT AND NOT MORE THAN 50 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE

UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 18 IN. BELOW THE RIDGE OR HIGHEST POINT OF THE BRACE-TIMBER VERTICAL. THE BALANCE OF THE REQUIRED VENTILATING PROVIDED SHALL BE LOCATED IN THE BOTTOM ONE-THIRD OF THE ATTIC SPACE

THE LOCATION OF WALL OR ROOF FRAMING MEMBERS CONFLICTS WITH THE INSTALLATION OF UPPER VENTILATORS

VENTILATION MORE THAN 18 IN. FROM THE RIDGE OR HIGHEST POINT OF THE SPACE SHALL BE PERMITTED



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ROOF FRAMING PLAN

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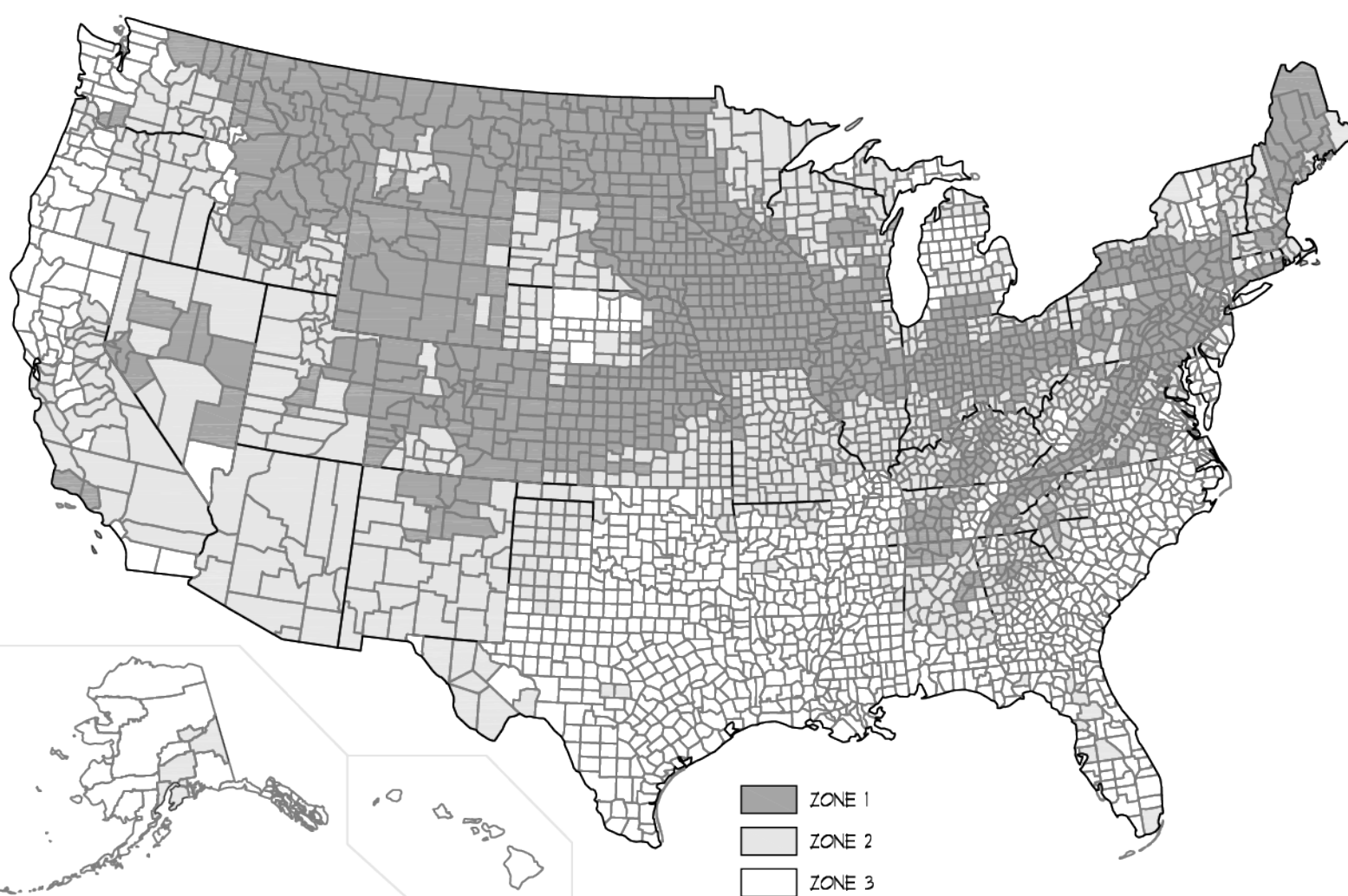
THIS ROOF REFLECTS TRUSS LAYOUT AND DESIGN BY BUILDERS FIRSTSOURCE - JOB #2021075. SEE MANUF. LAYOUT, TRUSS DRAWINGS AND ENGINEERING FOR ADDITIONAL SPECIFICATIONS AND INSTALLATION REQUIREMENTS.

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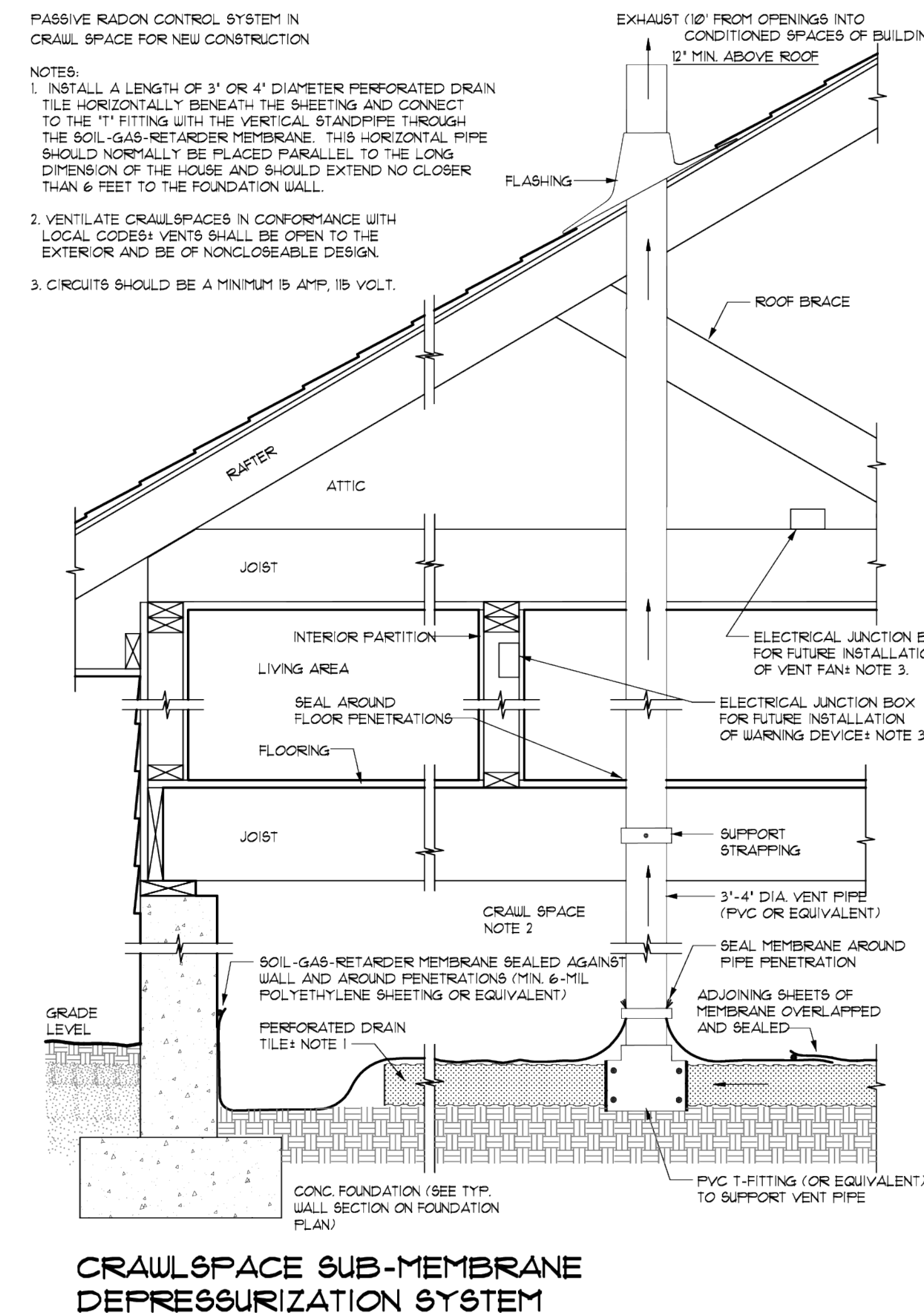
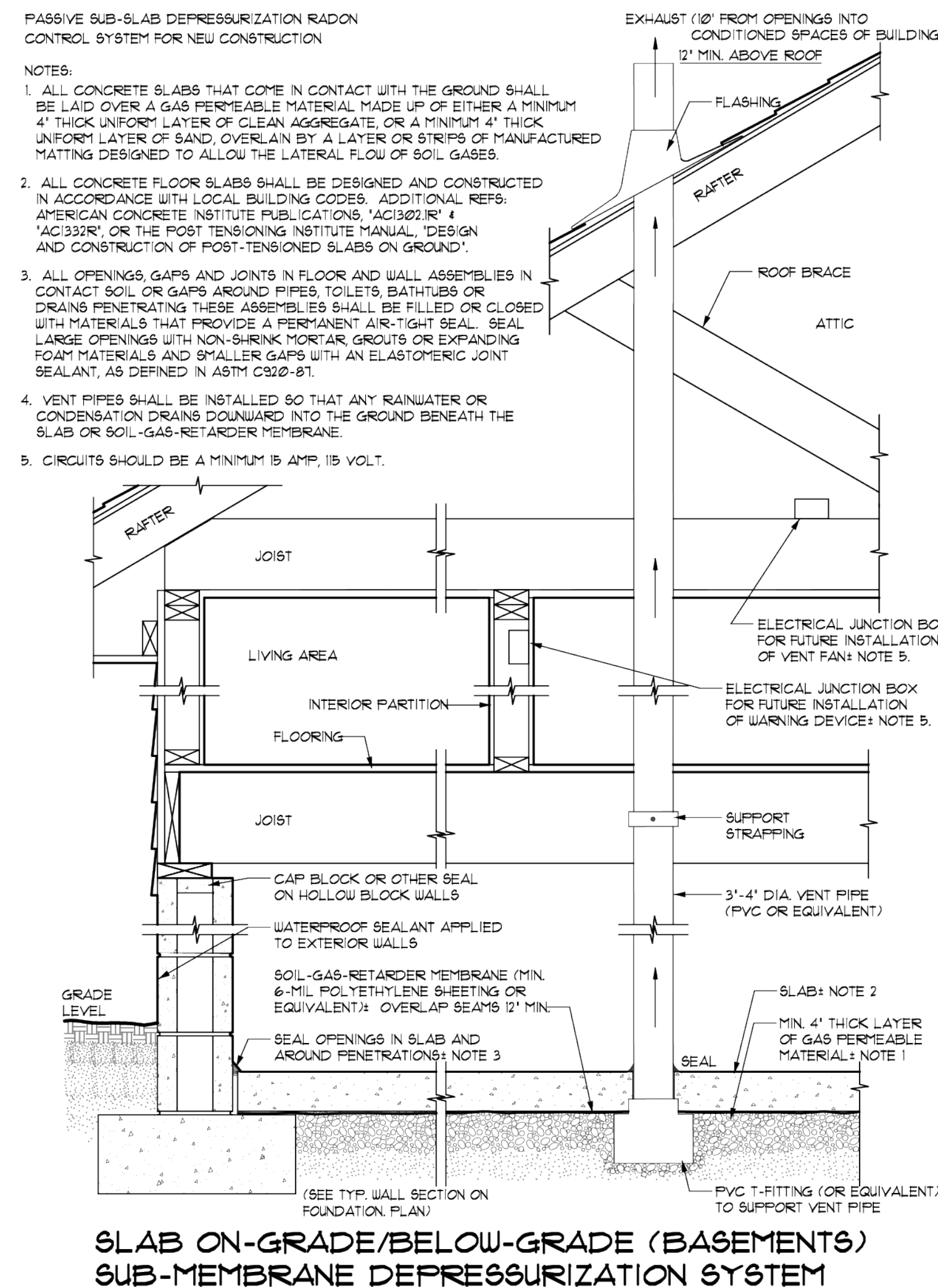
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 25# SNOW LOAD
 MAIN FLOOR 2899 SQ. FT. GARAGE AREA - 863 SQ. FT.
 1168ES
 7



EPA RADON ZONES

DISCLAIMER: THE PURPOSE OF THIS MAP IS TO ASSIST NATIONAL, STATE AND LOCAL ORGANIZATIONS TO TARGET THEIR RESOURCES AND TO IMPLEMENT RADON-REDUCTION BUILDING CODES. ALL HOMES SHOULD BE TESTED REGARDLESS OF GEOGRAPHIC LOCATION. EPA RECOMMENDS THAT THIS MAP BE SUPPLEMENTED WITH ANY AVAILABLE LOCAL DATA IN ORDER TO FURTHER UNDERSTAND AND PREDICT THE RADON POTENTIAL FOR A SPECIFIC AREA.



RADON MITIGATION

THE FOLLOWING CONSTRUCTION TECHNIQUES AND MEASURES ARE INTENDED TO MITIGATE RADON ENTRY IN NEW CONSTRUCTION. THESE TECHNIQUES MAY BE REQUIRED ON A JURISDICTION BY JURISDICTION BASIS. FOR EXAMPLE, IN THE STATE OF OREGON PER 2014 ORS.C., THE COUNTIES OF MULTNOMAH, WASHINGTON, CLACKAMAS, POLK, YAMHILL, HOOD RIVER AND BAKER REQUIRE RADON MITIGATION, AS DO THE COUNTIES OF CLATSOP, TERRELL, OKANOGAN, PEND OREILLE, SKAMANIA, SPOKANE AND STEVENS IN THE STATE OF WASHINGTON PER 2015 IRC/UMC 51-51-620(1) (AF10) & AF103.

FOLLOWING THE U.S. EPA "MODEL STANDARDS AND TECHNIQUES FOR CONTROL OF RADON IN NEW RESIDENTIAL BUILDINGS", THESE SPECIFICATIONS MEET MOST NATIONAL CODES. THE BUILDER AND HOME OWNER SHOULD CHECK FOR ANY LOCAL VARIANTS TO THESE GUIDELINES.

BUILDING TIGHTNESS MEASURES

THE FOLLOWING ARE POINTS OF ENTRY TO PROTECT FROM PASSAGE OF RADON GAS INTO LIVING SPACE - PROVIDE POLYURETHANE CAULK OR EQUIVALENT SEALANT AT THE FOLLOWING CRITICAL POINTS:

SLAB ON-GRADE AND BASEMENT WALLS

- CRACKS IN CONCRETE SLABS
- COLD JOINT BETWEEN TWO CONCRETE FLOORS
- PORES AND JOINTS IN CONCRETE BLOCKS
- FLOOR-TO-WALL CRACK OR FRENCH DRAIN
- EXPOSED SOIL AS IN A SUMP
- WEERSINS (DRAIN) TILE, IF DRAINED TO OPEN SUMP
- MORTAR JOINTS
- LOOSE FITTING PIPE PENETRATIONS
- OPEN TOPS OF BLOCK WALLS
- WATER FROM SOME WELLS
- UNTRAPPED FLOOR DRAIN TO A DRY WELL OR SEPTIC SYSTEM

CRAWL SPACE

- CRACKS IN SUBFLOORING AND FLOORING
- SPACES BEHIND STUD WALLS AND BRICK VENEER WALLS THAT REST ON UNCAFFED HOLLOW-BLOCK FOUNDATION
- ELECTRICAL PENETRATIONS
- LOOSE-FITTING PIPE PENETRATIONS
- OPEN TOPS OF BLOCK WALLS
- WATER FROM SOME WELLS
- HEATING DUCT REGISTER PENETRATIONS
- COLD-AIR RETURN DUCTS IN CRAWL SPACE

CONDENSATE DRAINS SHALL BE RUN TO THE EXTERIOR USING NON PERFORATED PIPE OR SHALL BE PROVIDED WITH AN APPROVED TRAP.

SUMP PITS THAT SERVE AS END POINT FOR A SUB-SLAB OR EXTERIOR DRAIN TILE LOOP SYSTEM AND SUMP PITS WHICH ARE NOT SEALED FROM THE SOIL, SHALL BE FITTED WITH A GASKETED OR SEALED LID. WHERE THE SUMP IS USED AS THE SUCTION POINT IN A SUB-SLAB DECOMPRESSION SYSTEM, THE LID MUST BE DESIGNED TO ACCOMMODATE THE VENT PIPE. WHERE USED AS A FLOOR DRAINING, THE SUMP PIT LID SHALL HAVE A TRAPPED INLET.

DUCTWORK WHICH PASSES THROUGH OR BENEATH A CONCRETE FLOOR SLAB SHALL BE FREE OF SEAMS AND MUST BE PERFORMANCE TESTED.

DUCTWORK PASSING THROUGH A CRAWLSPACE MUST HAVE ALL SEAMS AND JOINTS SEALED (PER M16013). ALL JOINTS OF DUCT SYSTEMS USED IN THE HEATING OR COOLING OF A CONDITIONED SPACE SHALL BE SEALED BY MEANS OF TAPES, MASTIC, AEROSOL SEALANT, GASKETING OR OTHER APPROVED CLOSURE SYSTEMS. WHERE MASTIC IS USED TO SEAL OPENINGS GREATER THAN 1/4", A COMBINATION OF MASTIC AND MESH SHALL BE USED.

CRAWLSPACE ACCESS OR UNDER-FLOOR MECHANICAL EQUIPMENT ACCESS OR ANY OTHER ACCESS POINT FROM THE HABITABLE SPACE INTO THE CRAWL SPACE, SUCH AS DOORS OR PANELS, MUST BE CLOSED AND GASKETED TO CREATE AN AIRTIGHT SEPARATION.

AIR HANDLING UNITS IN CRAWL SPACES SHALL BE SEALED TO PREVENT AIR FROM BEING DRAIN INTO THE UNIT.

CRAWL SPACE RADON MITIGATION

IN ADDITION TO THE CRAWL SPACE SEALING REQUIREMENTS, ONE OF THREE RADON MITIGATION METHODS SHALL BE IMPLEMENTED:

- METHOD #1 - MECHANICAL VENTILATION (AF103), EXCEPTION)**
 - PROVIDE AN APPROVED MECHANICAL CRAWL SPACE VENTILATION SYSTEM OR OTHER EQUIVALENT SYSTEM.
- METHOD #2 - PASSIVE SUB-MEMBRANE DEPRESSURIZATION SYSTEM (AF103)**
 - PROVIDE FOUNDATION VENTILATION SYSTEM (SEE FOUNDATION NOTES FOR CRAWLSPACE VENTING)
 - PROVIDE A SOIL-GAS RETARDER, SUCH AS 6 MIL POLYETHYLENE OR EQUIVALENT (SEE GAS-RETARDER NOTES)
 - PROVIDE A VENT STACK (SEE VENT STACK NOTES)

METHOD #3 - CRAWLSPACE VENTILATION AND BUILDING TIGHTNESS

- PROVIDE NO LESS THAN ONE NET SQ. FT. OF CRAWLSPACE FOUNDATION VENT AREA PER EACH 150 SQ. FT. OF UNDER-FLOOR AREA (SEE FOUNDATION NOTES FOR CRAWLSPACE VENTING LOCATION REQUIREMENTS)
- OPERABLE LOUVERS, DAMPERS, OR OTHER MEANS TO TEMPORARILY CLOSE OFF VENT OPENINGS ARE NOT ALLOWED TO MEET THE REQUIREMENTS OF THIS RADON MITIGATION METHOD.
- DUELLING SHALL BE TESTED WITH A BLOWER DOOR, DEPRESSURIZING THE DUELLING TO 50 PASCALS FROM AMBIENT CONDITIONS AND FOUND TO EXHIBIT NO MORE THAN 50 AIR CHANGES PER HOUR.
- INSTALL A MECHANICAL EXHAUST SUPPLY, OR COMBINATION VENTILATION SYSTEM PROVIDING WIDE-BUILDING VENTILATION RATES AS PER TABLE N10(U)(3).

VENTILATION AIR REQUIREMENTS (cfm)

FLOOR AREA (FT ²)	0-1	2-3	4-5	6-1	>1
<1500	30	45	60	75	90
1501-3000	45	60	75	90	105
3001-4500	60	75	90	105	120
4501-6000	75	90	105	120	135
6000-15000	90	105	120	135	150
>15000	105	120	135	150	165

TABLE N10(U)(3)

SLAB-ON-GRADE/BASEMENT RADON MITIGATION

A PASSIVE SUB-SLAB DEPRESSURIZATION SYSTEM SHALL BE INSTALLED DURING CONSTRUCTION IN BASEMENT OR SLAB-ON-GRADE BUILDINGS. FOLLOW THE NOTES HERE REGARDING BUILDING TIGHTNESS MEASURES AND ASSEMBLE THE FOLLOWING ELEMENTS OF THIS MITIGATION SYSTEM:

- PROVIDE A RADON VENT PIPE EXTENDING FROM A GAS PERMEABLE LAYER BENEATH THE SLAB FLOOR SYSTEM THROUGH THE FLOORS OF THE DUELLING AND TERMINATING AT THE ROOF.
- SEE NOTES REGARDING VENT PIPE, SOIL-GAS-RETARDER AND SLAB SUBFLOOR PREPARATION.

SLAB SUB-FLOOR PREPARATION

- A LAYER OF GAS-PERMEABLE MATERIAL SHALL BE PLACED UNDER ALL CONCRETE SLABS AND OTHER FLOOR SYSTEMS THAT DIRECTLY CONTACT THE GROUND, AND ARE WITHIN THE WALLS OF THE LIVING SPACES OF THE BUILDING. THE GAS-PERMEABLE LAYER SHALL CONSIST OF ONE OF THE FOLLOWING:
 - A UNIFORM LAYER OF CLEAN AGGREGATE, A MINIMUM OF 4 INCHES THICK. THE AGGREGATE SHALL CONSIST OF MATERIAL SMALL ENOUGH TO PASS THROUGH A 2" SIEVE AND BE RETAINED BY A 1/4" SIEVE.
 - A UNIFORM LAYER OF SAND (NATIVE OR FILL), A MINIMUM OF 4 INCHES THICK, OVERLAIN BY A LAYER OR STRIPS OF GEO-TEXTILE DRAINAGE MATTING DESIGNED TO ALLOW THE LATERAL FLOW OF SOIL GASES.

SOIL-GAS-RETARDER

- THE SOIL IN CRAWLSPACES SHALL BE COVERED WITH A CONTINUOUS LAYER OF MINIMUM 6-MIL POLYETHYLENE SOIL-GAS-RETARDER. THE GROUND COVER SHALL BE LAPPED A MINIMUM OF 12 INCHES AT JOINTS AND SHALL EXTEND TO ALL FOUNDATION WALLS ENCLOSED THE CRAWL SPACE AREA.
- THE SHEETING SHALL FIT CLOSELY AROUND ANY PIPE, WIRE OR OTHER PENETRATIONS OF THE MATERIAL.
- ALL PUNCTURES OR TEARS IN THE MATERIAL SHALL BE SEALED OR COVERED WITH ADDITIONAL SHEETING.

VENT PIPE (RADON)

- A PLUMBING TEE OR OTHER APPROVED CONNECTION SHALL BE INSTALLED HORIZONTALLY BENEATH THE SOIL-GAS-RETARDER SHEETING AND CONNECTED TO A 3" OR 4" DIAMETER FITTING WITH A VERTICAL VENT PIPE INSTALLED THROUGH THE SHEETING.
- THE VENT PIPE SHALL BE EXTENDED UP THROUGH THE BUILDING FLOORS TO TERMINATE AT LEAST 12 INCHES ABOVE THE ROOF SURFACE IN A LOCATION AT LEAST 10 FEET AWAY FROM ANY WINDOW OR OTHER OPENING INTO THE CONDITIONED SPACES OF THE BUILDING THAT IS LESS THAN 2 FEET BELOW THE EXHAUST POINT, AND 10 FEET FROM ANY WINDOW OR OTHER OPENING IN ADJOINING OR ADJACENT BUILDINGS.
- IN BUILDINGS WHERE INTERIOR FOOTINGS OR OTHER BARRIERS SEPARATE THE SUB-SLAB AGGREGATE OR OTHER GAS-PERMEABLE MATERIAL, EACH AREA SHALL BE FITTED WITH AN INDIVIDUAL VENT PIPE.
- MULTIPLE VENT PIPES SHALL CONNECT TO A SINGLE VENT THAT TERMINATES ABOVE THE ROOF OR EACH INDIVIDUAL VENT PIPE SHALL TERMINATE ABOVE THE ROOF.
- ALL COMPONENTS OF THE RADON VENT PIPE SYSTEM SHALL BE INSTALLED TO PROVIDE POSITIVE DRAINAGE TO THE GROUND BENEATH THE SLAB OR SOIL-GAS-RETARDER.
- RADON VENT PIPES SHALL BE ACCESSIBLE FOR FUTURE FAN INSTALLATION THROUGH AN ATTIC OR OTHER AREA OUTSIDE THE HABITABLE SPACE OR AN APPROVED ROOF TOP ELECTRICAL SUPPLY MAY BE PROVIDED FOR FUTURE USE FOR A POWERED RADON VENT FAN.
- ALL EXPOSED AND VISIBLE INTERIOR RADON VENT PIPES SHALL BE IDENTIFIED WITH AT LEAST ONE LABEL ON EACH FLOOR AND IN ACCESSIBLE ATTICS. THE LABEL SHALL READ: "RADON REDUCTION SYSTEM"

POWER SOURCE REQUIREMENT

- TO ACCOMMODATE FUTURE INSTALLATION OF AN ACTIVE SUB-MEMBRANE OR SUB-SLAB DEPRESSURIZATION SYSTEM, AN ELECTRICAL CIRCUIT TERMINATED IN AN APPROVED BOX SHALL BE INSTALLED DURING CONSTRUCTION IN THE ATTIC OR OTHER ANTICIPATED LOCATION OF VENT FAN. AN ELECTRICAL SUPPLY SHALL ALSO BE ACCESSIBLE IN ANTICIPATED LOCATION OF SYSTEM. Code FAILURE ALARMS.

COMBINATION FOUNDATIONS

- COMBINATION BASEMENT/CRAWLSPACE OR SLAB-ON-GRADE/CRAWLSPACE FOUNDATIONS SHALL HAVE SEPARATE RADON MITIGATION SYSTEMS IN EACH TYPE OF FOUNDATION AREA. PASSIVE SUB-SLAB AND PASSIVE SUB-MEMBRANE RADON VENT PIPES MAY BE CONNECTED TO A SINGLE VENT TERMINATING ABOVE THE ROOF OR EACH VENT MAY INDIVIDUALLY CONTINUE TO TERMINATE ABOVE THE ROOF (SEE VENT PIPE NOTES). ELEMENTS OR REMOVAL OF THIS NOTIFICATION IS SUBJECT TO PRODUCTION.

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1168ES-R-KELLER PROJECT MANAGER/DR. DRAWN: 01/18/24 LAW
 RESIDENCE BY
QUAIL HOMES - "KELLER"
 LOT 9 - LARVIEW VALLEY, WA.
 25# SNOW LOAD
 MAIN FLOOR 2899 SQ. FT. GARAGE AREA - 863 SQ. FT.
 1168ES
R
 MASCORD COLLECTION
 2387 NW NEED ST. SUITE 500 PORTLAND, OR 97210 503.225.2386 FAX: 503.985.9595

♦ FRAMING CLIP SCHEDULE O.C. ♦

SHEAR WALL	FRAMING CLIP OPTIONS			
	LTP4	A35	LS50	L50
	18"	20"	27"	20"
	14"	15"	20"	15"
	8"	9"	12"	8"
	5.5"	6"	8"	6"
	10"	11"	14"	10"
	8"	8"	11"	8"
	6.5"	7"	9"	7"

*SPACING OF THESE CLIPS IS REQUIRED ON BOTH SIDES OF SHEATHING.

GENERAL NOTES

- All fasteners exposed to weather shall be galvanized.
- All exterior walls shall be built to "S" shearwall requirements as a minimum.
- Sheathing on shearwalls shall not be interrupted by any wall butting into shearwall.
- Builder to verify installation requirements for all hardware connections per manufacturer.
- All floor system lumber to be installed with maximum moisture content of 16%.
- All hardware & fasteners in contact with P.T. lumber shall be stainless steel, Z-max or hot dip galvanized.
- Nail dimensions:
8d common = 0.131x2.5
10d common = 0.148x3
16d sinker = 0.148x3.25
16d common = 0.162x3.5

LEGEND

- APPROX. HOLDOWN LOCATIONS
- SHEAR WALL LOCATIONS
- DETAIL REFERENCE TAG
- 3X SILL PLATE REQUIRED
- 2X DBL. 2X SILL PLATE REQUIRED
- SHEAR WALL LINE
- LOAD FROM ABOVE
- DOUBLE 2x6 U.N.O.

♦ SHEAR WALL SCHEDULE ♦

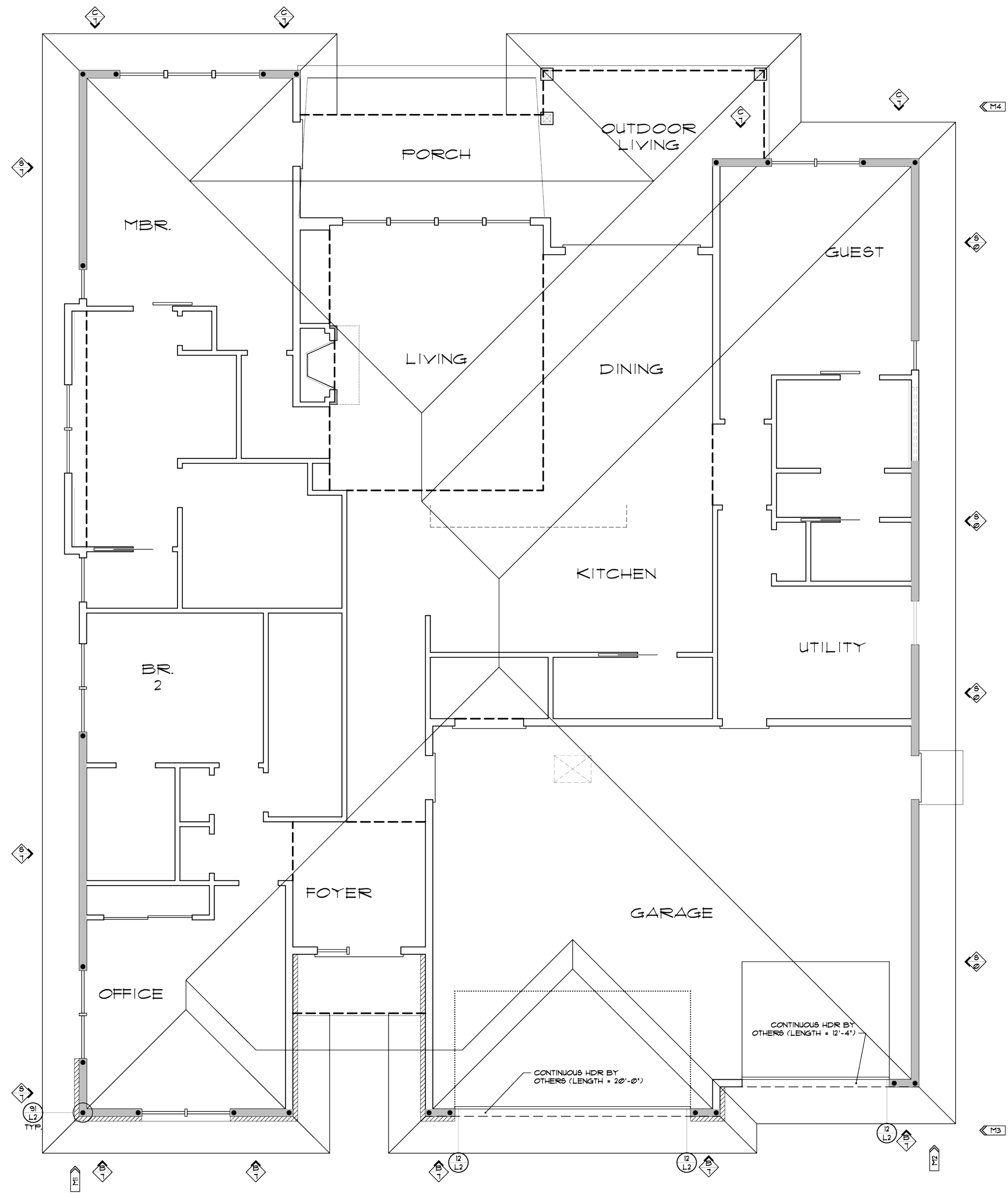
MARK	PANEL THICKNESS	FASTENERS (3),(5),(6),(7)		SOLE NAILING 16d SINKER	SILL PLATE SIZE (14)	AB SPACING (2)	NOTES	ALLOW LOAD (LBS.)
		TYPE	EDGES					
	7/8" or 1 1/2"	0.131" φ x 2 1/2" F. RH. P-NAIL	6" O.C.	6" O.C.	2X	48" O.C.		348 260
	7/8" or 1 1/2"	0.131" φ x 2 1/2" F. RH. P-NAIL	4" O.C.	4" O.C.	2X	32" O.C.		523 380
	7/8" or 1 1/2"	0.131" φ x 2 1/2" F. RH. P-NAIL	3" O.C.	3" O.C.	2X	26" O.C.	see (15)	679 490
	7/8" or 1 1/2"	0.131" φ x 2 1/2" F. RH. P-NAIL	2" O.C.	2" O.C.	2X	22" O.C.	see (4), (15)	802 640
	7/8" or 1 1/2" EA. SIDE	0.131" φ x 2 1/2" F. RH. P-NAIL	3" O.C.	3" O.C.	3X	20" O.C.	see (4), (15), (16)	1123 980
	7/8" or 1 1/2" EA. SIDE	0.131" φ x 2 1/2" F. RH. P-NAIL	2" O.C.	2.5" O.C.	3X	16" O.C.	see (4), (8), (15), (16)	1404 1280
	1 1/2" EA. SIDE	0.148" φ x 3" F. RH. P-NAIL	2" O.C.	2" O.C.	3X	13" O.C.	see (4), (8), (15), (16)	1728 1540

- NOTES
- 2X D.F. studs max. 16" O.C.
 - Anchor bolts to be 3/8" φ j-bolts w/min. 7" embedment into concrete. Secure with BP 3/8"-6 or BPS 3/8"-6. BPS 3/8"-6 requires an additional std. cut washer.
 - Intermediate studs nailed @ 12" O.C.
 - Framing @ adjoining panels to be 3x nominal or wider, w/nailling staggered.
 - 0.131" φ x 2 1/2" F. RH. P-nail may be replaced with 0.131" φ x 2 1/2" common nail or 0.113" φ x 2 1/2" hot dip or tumbled galvanized box nail.
 - 0.148" φ x 3" F. RH. P-nail may be replaced with 0.148" φ x 3" common nail or 0.128" φ x 3" hot dip or tumbled galvanized box nail.
 - "F. RH. P-nail" designates a full round-head power nail.
 - Minimum 4x6 post @ each end.
 - Holdowns occur @ each end of each shearwall & fasten to min. double 2x studs. Wall sh'g. shall be edge nailed to each holdown stud.
 - 3X plate required where shown on foundation plan.
 - USE 2 ROWS FOR SILL PLATE NAILING W/ 1 1/2" THICK RIM JOIST OR BLOCKING
 - SILL PLATE NAILING PER EACH SIDE OF SHEATHING.

♦ HOLDOWN SCHEDULE ♦

MARK (9)	SIMPSON MODEL#	FASTENERS	CAPACITY (LBS.)	NOTES
	No holdown required	Connect btm. plate to floor joist/rim/blocking w/16d @ 4" O.C.	500	
	CMST12 x 36" Long	(7) 16d common nails at each end.	1,740	
	CMST12 x 48" Long	(16) 16d common nails at each end.	3,950	
	CMST12 x 60" Long	(22) 16d common nails at each end.	5,470	
	CMST12 x 72" Long	(29) 16d common nails at each end.	7,220	
	CMST12 x 90" Long	(39) 16d common nails at each end.	9,710	
	HTT5	(26) 16d sinkers 5/8"x24	5,090	
	HDU-8	(20) SDS [®] 3/8" x 24" screws, SB 3/8"x24 EMBED 18" MIN.	7,855	Min. 4x6 OR (3) 2x6 STITCHED TOGETHER w/16d SINKER @ 6" O.C. MIDWALL AND CORNER ONLY
	HDU-11	(30) SDS 3/8" x 24" screws, SB 3/8"x24 EMBED 24" MIN.	9,335	4x6 post req'd.
	HDU-14	(36) SDS 3/8" x 24" screws, FABR ANCHOR, 11" EMBED INTO FOOTING MIN.	14,445	6x6 post req'd. Heavy hex nut req'd. 3/8"x6"x14" deep with fig. req'd. @ ea. anchor bolt.

PLEASE NOTE:
THE TOP OF EACH SHEAR WALL MUST BE CONNECTED TO THE ROOF SHEATHING OR FLOOR SHEATHING. THE BOTTOM OF EACH SHEAR WALL MUST BE CONNECTED TO THE FLOOR SHEATHING OR FOUNDATION. SEE TYPICAL CONNECTION DETAILS FOR APPROPRIATE CONNECTION.



MAIN FLOOR PLAN
SCALE: 1/4" = 1'-0"

WIND & SEISMIC ANALYSIS 2021 IBC ROWELL
MPH: 135
EXP: 1
SEIG. CAT: D
ZIP: 92665

WOOD I. ROWELL
STATE OF WASHINGTON
43817 REGISTERED
PROFESSIONAL ENGINEER

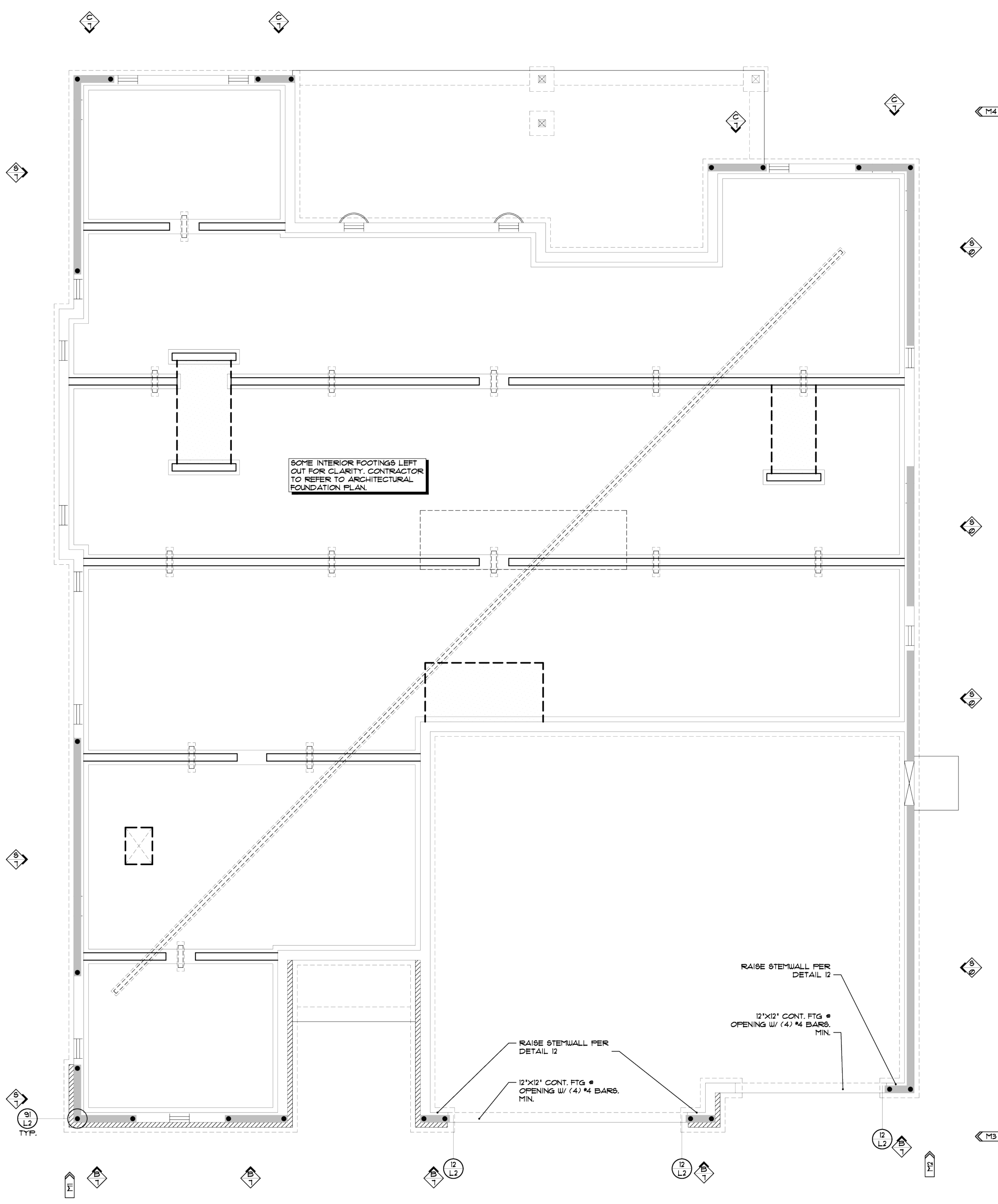
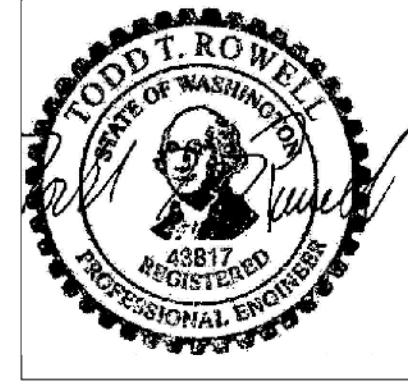
ROWELL ENGINEERING, LLC
STRUCTURAL ENGINEERING
8070 SE WASHINGTON STREET STE. 202
PORTLAND, OR 97206

PROJECT: 230133
Maxford COLLECTION

RESIDENCE BY: QUAIL HOMES - "KELLER"
LOT 9 - LARKVIEW VAIL COLVER, W.A.
25# SNOW LOAD
MAIN FLOOR: 2699 SQ. FT.
GARAGE AREA: 853 SQ. FT.
1168ES L1 135C

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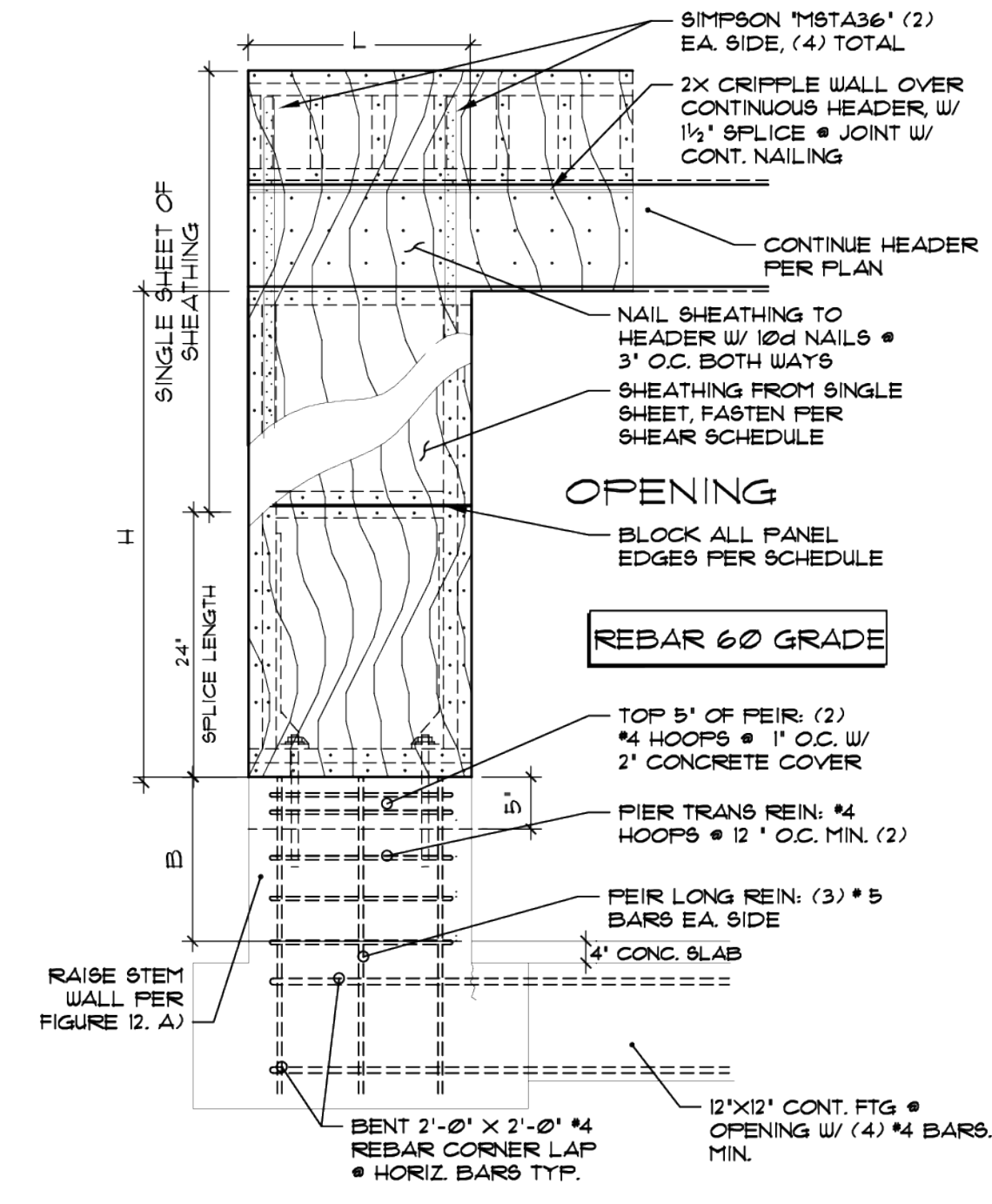
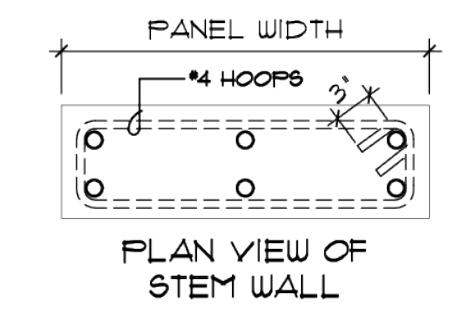
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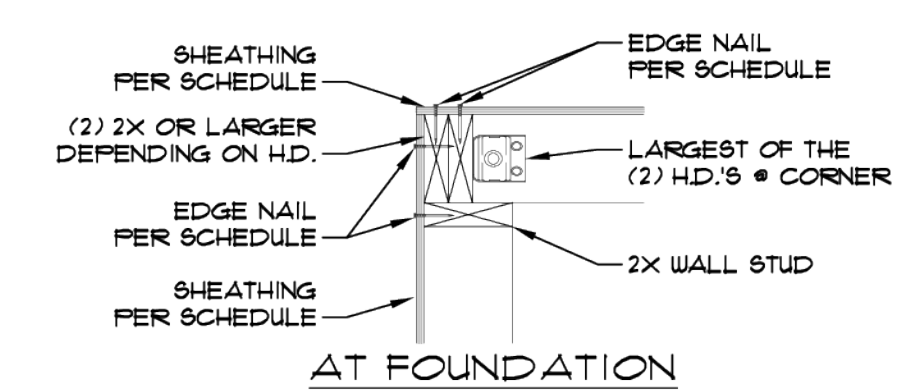
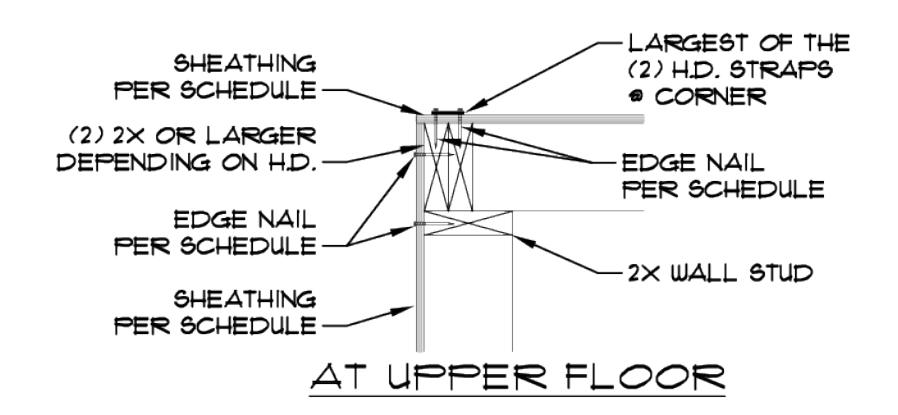
FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

FIGURE 12. A)
 DIMENSIONS DETAIL 12

HEADER HEIGHT, H	1 FT
PANEL LENGTH, L	2 FT
STEMWALL HEIGHT	24 IN



12 NARROW SHEAR PANEL
 NO SCALE (REDUCES PANEL HGT.)

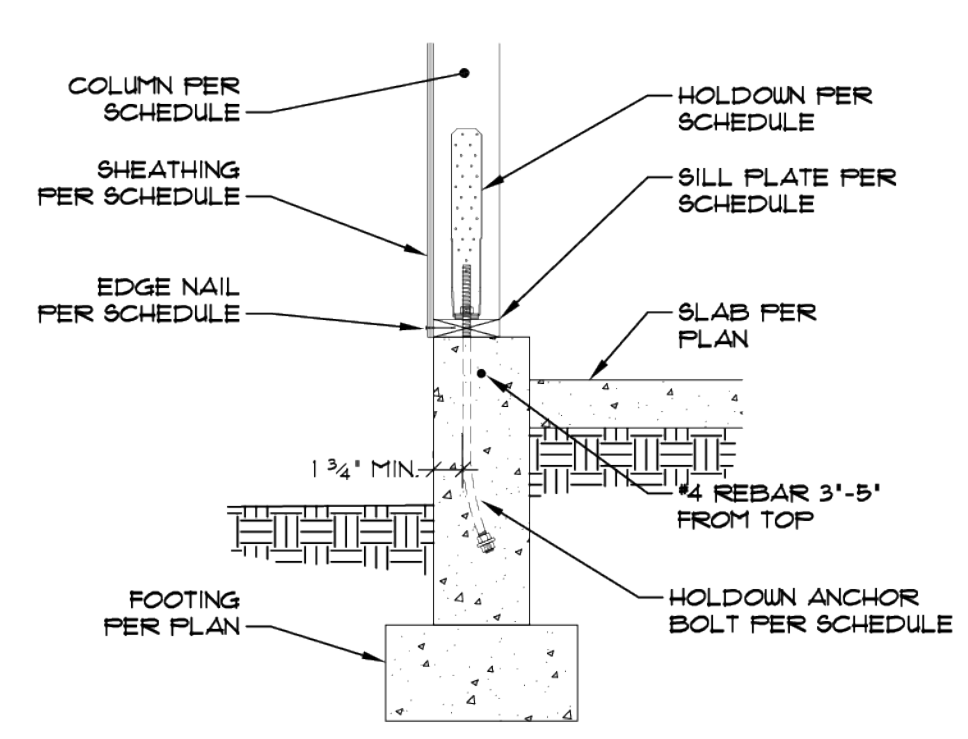
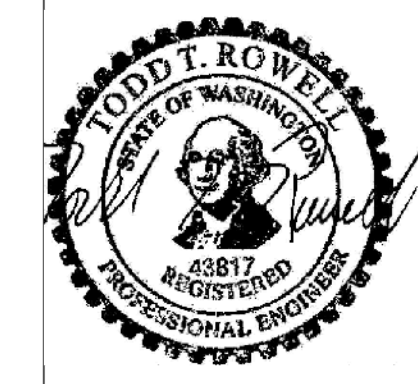


91 COMBINED H.D. @ CORNER
 1" = 1'-0"

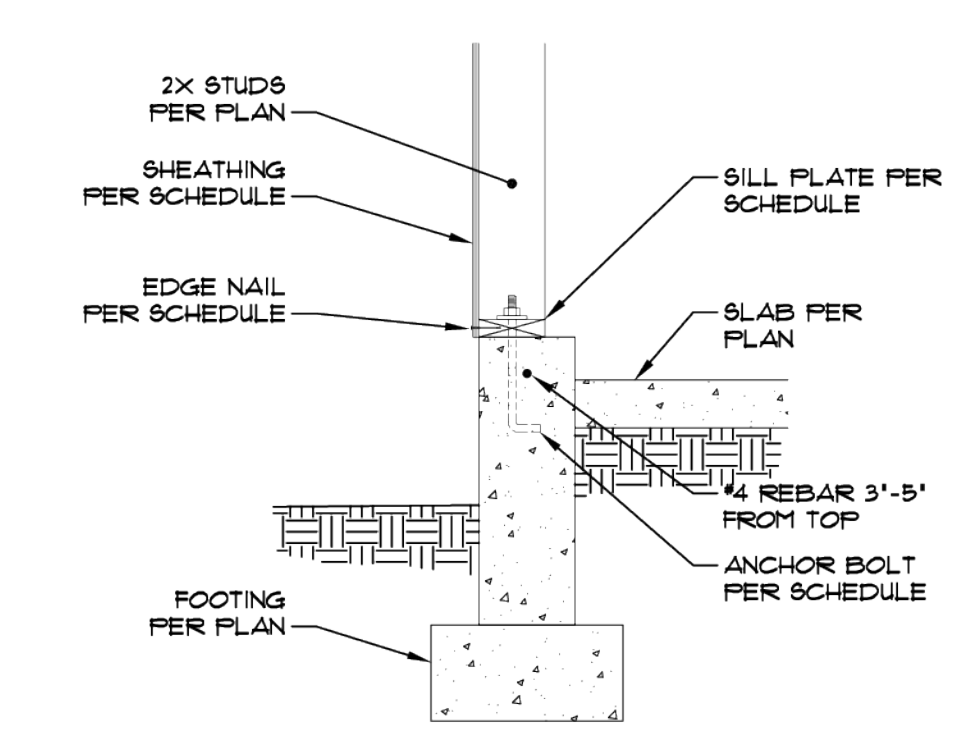
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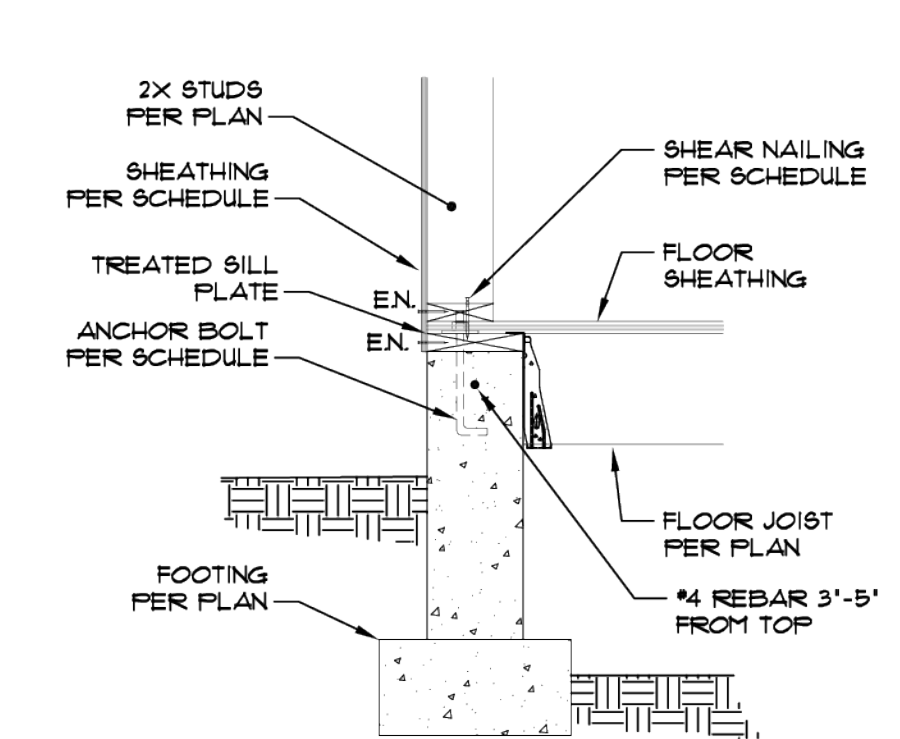
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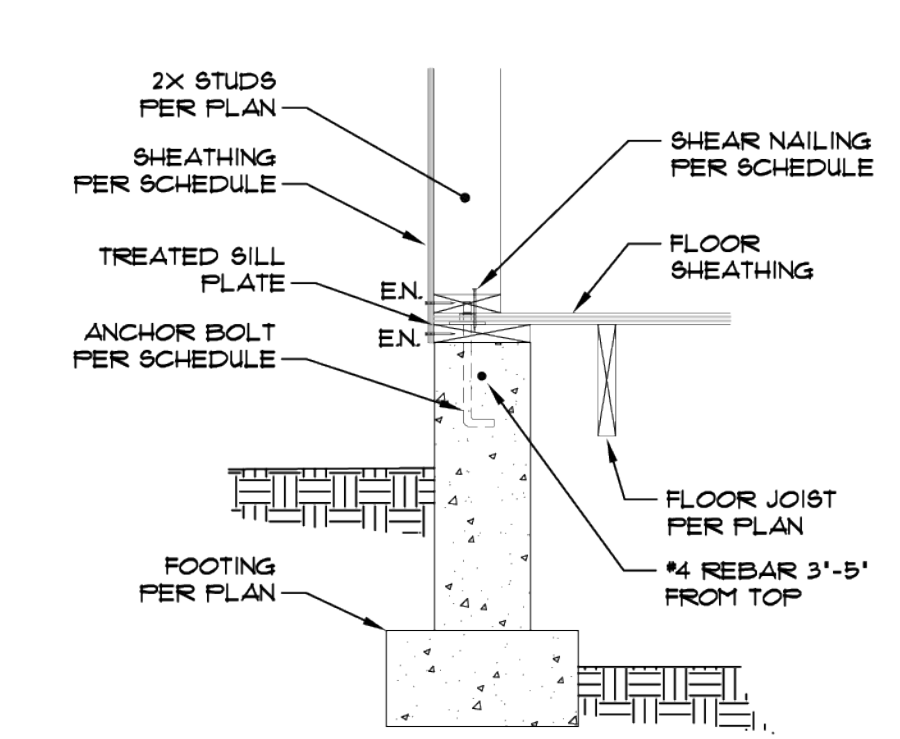
GARAGE SLAB SB ANCHOR BOLT
 3/4" = 1'-0"



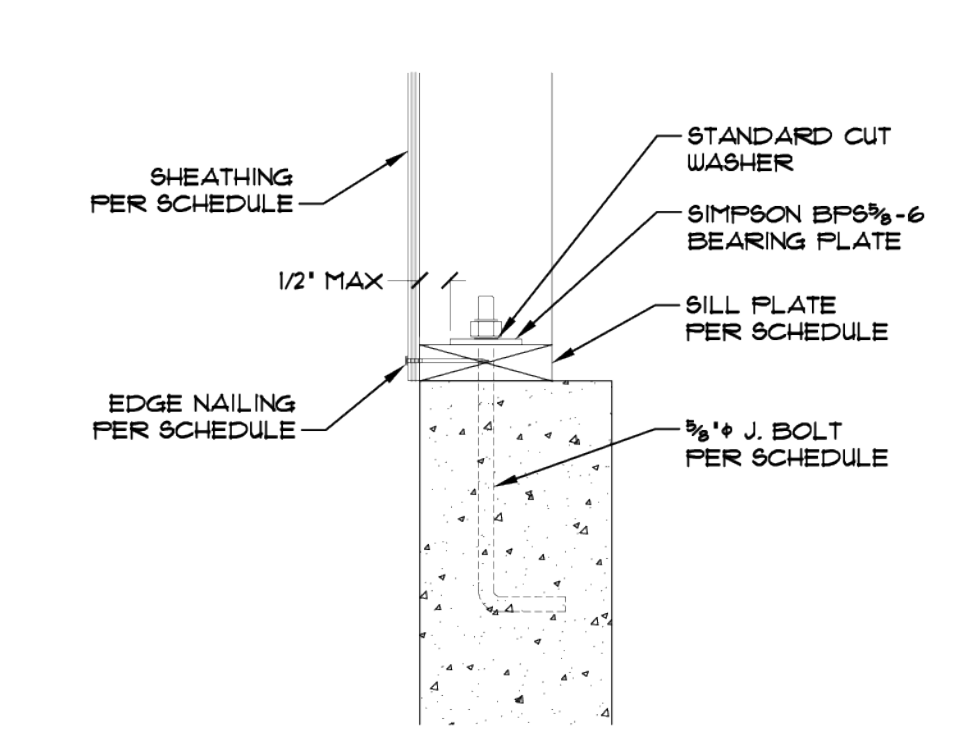
GARAGE SLAB SHEAR WALL
 3/4" = 1'-0"



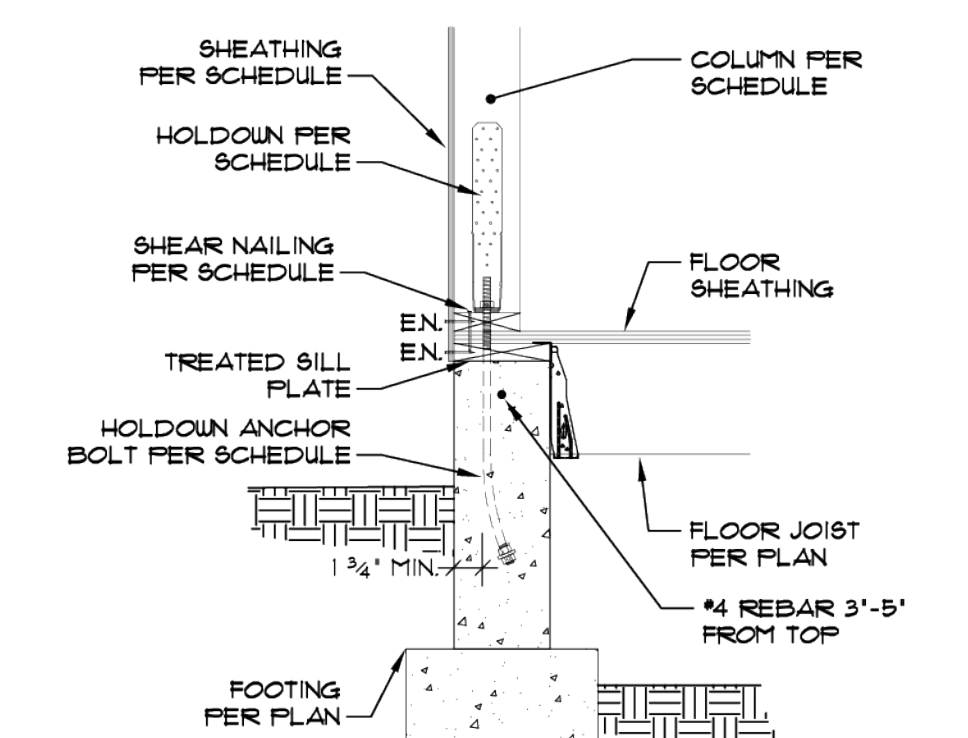
EXTERIOR SHEAR WALL
 3/4" = 1'-0" PERPENDICULAR FLOOR JOISTS



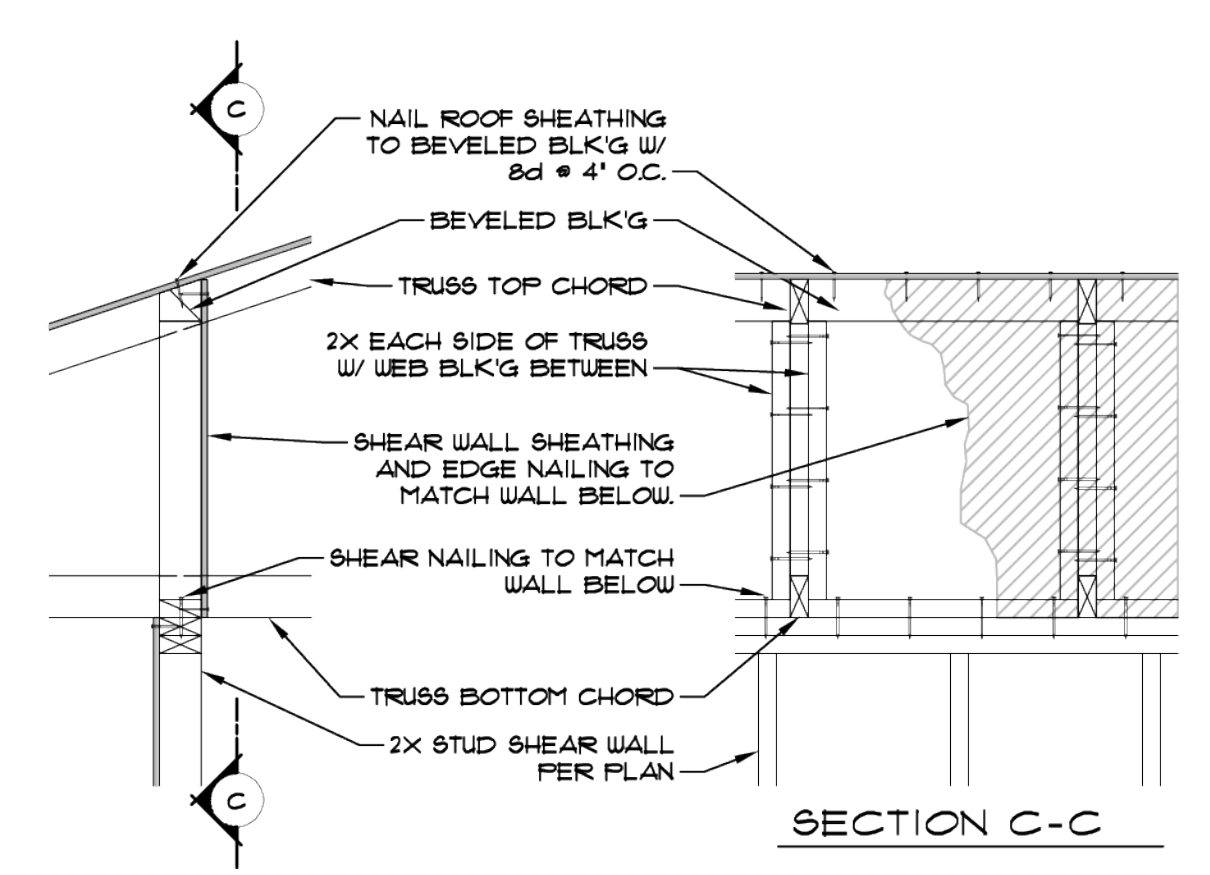
EXTERIOR SHEAR WALL
 3/4" = 1'-0" PARALLEL FLOOR JOISTS



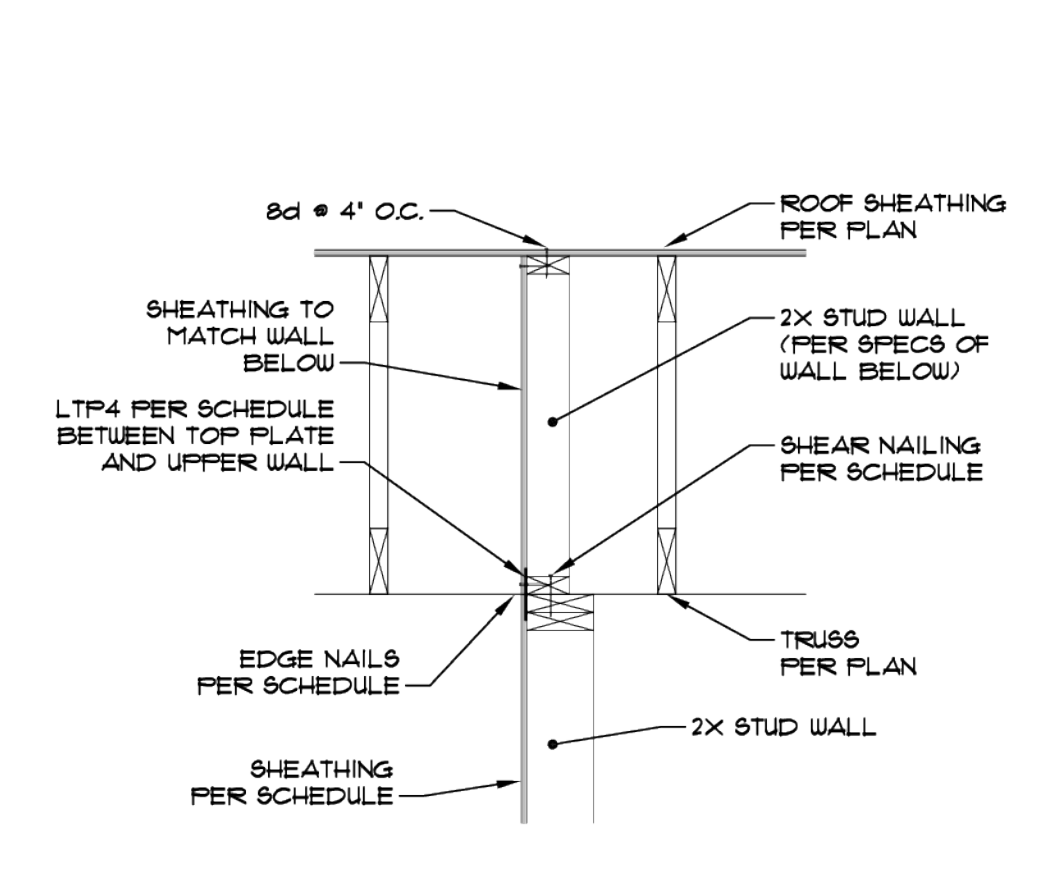
STANDARD A.B. DETAIL
 1/2" = 1'-0"



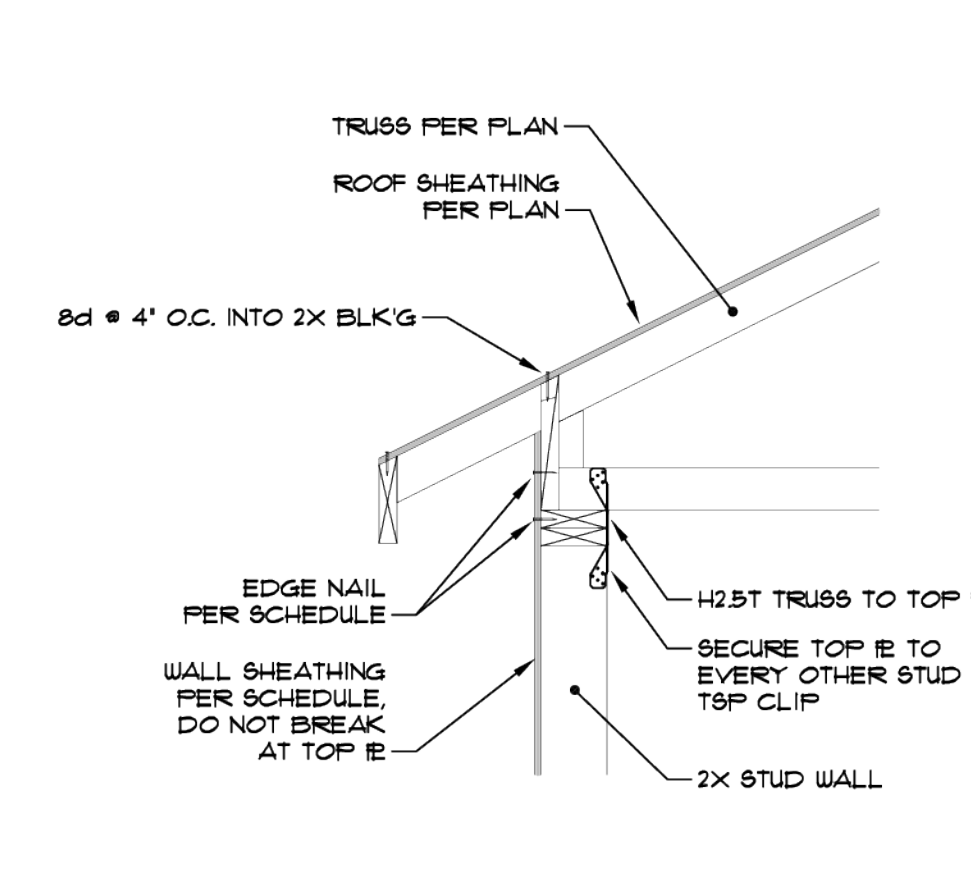
EXTERIOR SB ANCHOR BOLT
 3/4" = 1'-0"



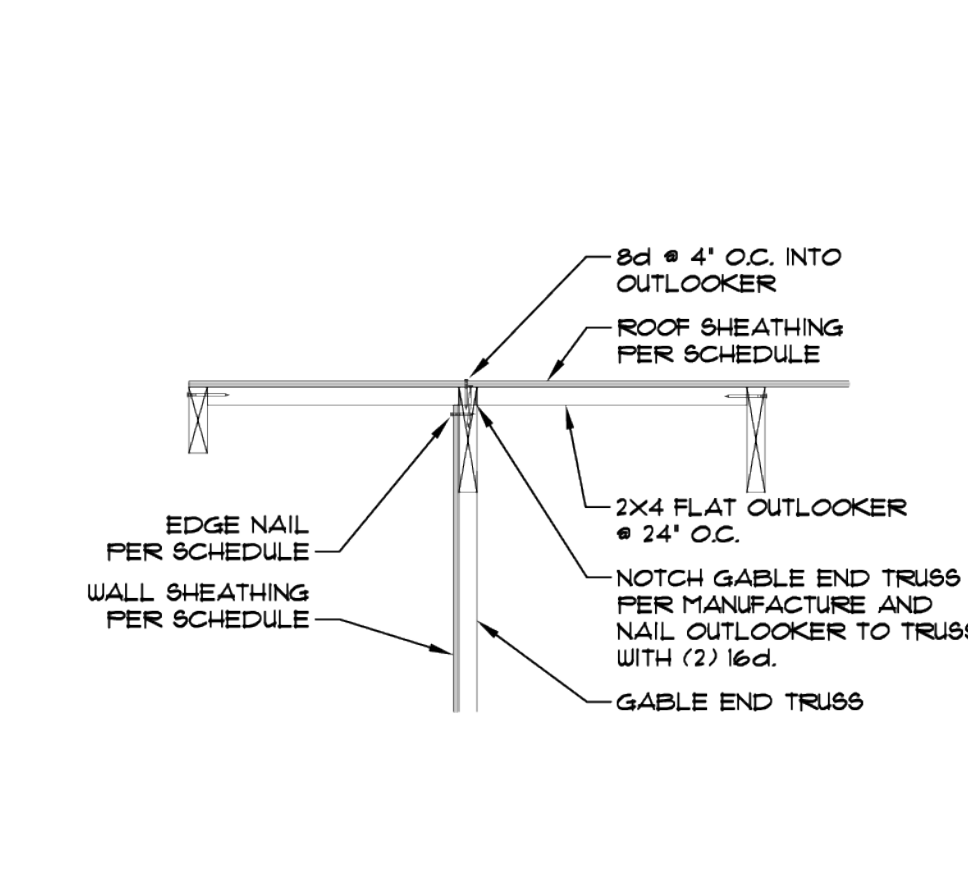
INTERIOR SHEAR WALL TO ROOF
 3/4" = 1'-0" PERPENDICULAR ROOF TRUSSES



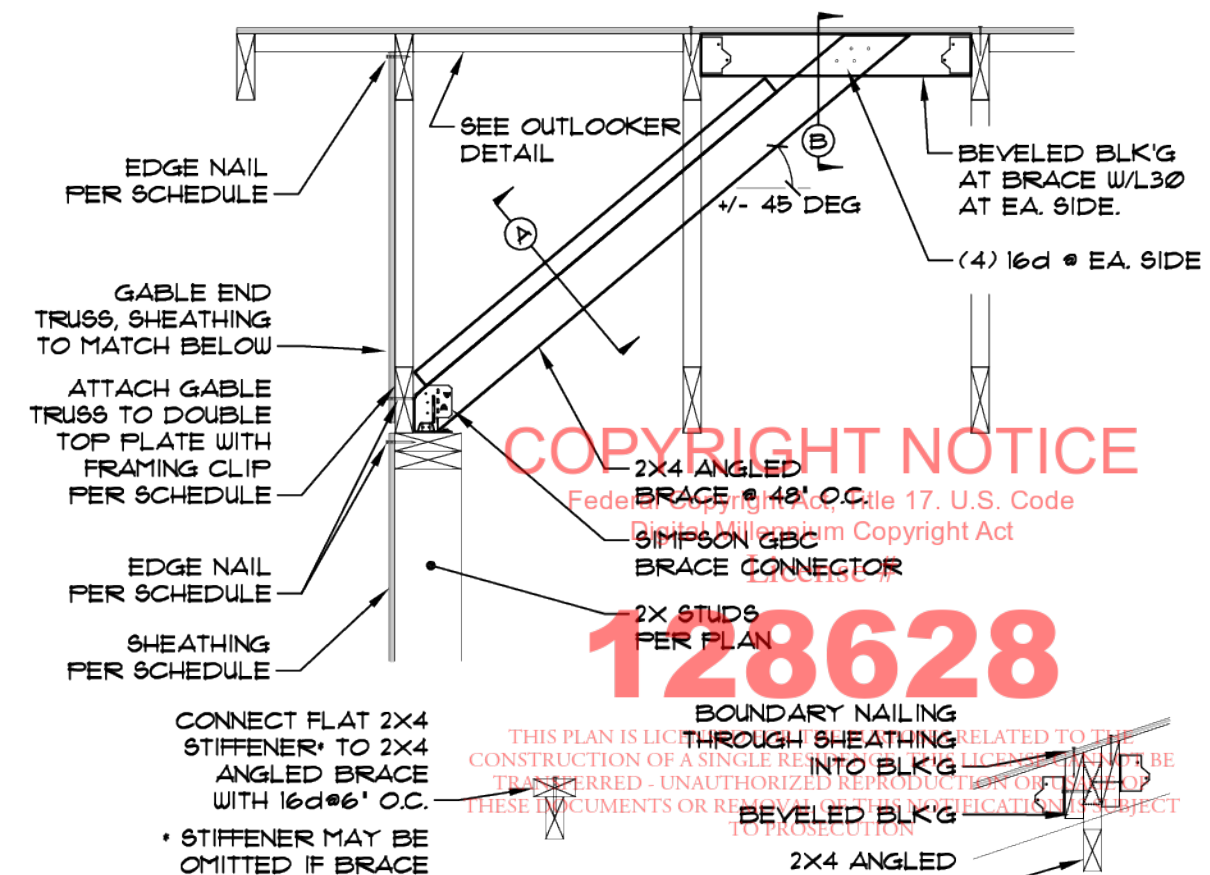
INTERIOR SHEAR WALL EXTENSION
 3/4" = 1'-0" PARALLEL TO ROOF TRUSSES



RAISED HEEL TRUSS AT EAVE
 3/4" = 1'-0"



OUTLOOKER DETAIL
 SCALE: 3/4" = 1'-0"



GABLE END TRUSS
 3/4" = 1'-0"

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